

Attachment B

Amended Heritage Impact Statement (Hosking Willis)



Heritage Impact Statement

Southern Cross Care Carmelite

Stage 2 Development

7 Spence Avenue

Myrtle Bank

FINAL | 19 February 2026

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Referencing

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Cover image: Early undated image of the Archbishop's Residence from the south-east, c.1900

Source: *Adelaide Catholic Archdiocesan Archives*

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1.0 Introduction

1.1 Objectives of the Report

Hosking Willis Architecture have been engaged by Place Project Management to provide heritage advice for the Southern Cross Care Carmelite Stage 2 Development located at 7 Spence Avenue, Myrtle Bank, South Australia.

Stage 2 comprises the adaptive re-use of the former residence of the Roman Catholic Archbishop of Adelaide, a State Heritage Place, as a community centre for Southern Cross Care residents, together with the construction of two new apartment buildings to the rear (north) of the residence and associated landscaped spaces.

The objective of this report is to review and assess the heritage impact of the proposed development on the former Archbishop's residence. The following tasks have been undertaken to develop an understanding of the place and to inform the statement:

- Inspection of the site and context to understand the extent of the heritage listed place affected by the development.
- Analysis of the Heritage Integrity of rooms impacted by the proposed works to the State Heritage Place.
- Identification of the proposed scope of work.
- Review of the existing *Conservation Management Condition Report* prepared by McDougall & Vines in 2014 and included relevant policies.
- Assessment of the potential impact of the proposed development on the fabric and condition of the State Heritage Place.
- Preparation of this Heritage Impact Statement.

1.2 Site information

Location:	380 Glen Osmond Road, Myrtle Bank
Planning & Design Code Zoning:	Urban Renewal Neighbourhood
Relevant Overlays:	State Heritage Place

1.3 Existing Heritage Recognition

Heritage Status:	State Heritage Place (ID 14274, registered 27.09.1990).
Description of Heritage Place:	Carmelite Monastery

1.4 Site Context

The former Archbishop's Residence and Carmelite Monastery is located at 7 Spence Avenue, Myrtle Bank, within the City of Unley municipal area. Prominently sited on the approach to the Adelaide Hills, the property occupies a substantial allotment at the intersection of Glen Osmond and Cross Road, two of Adelaide's principal arterial routes. Originally constructed in 1896–97 for Catholic Archbishop John O'Reilly to the design of architect Albert Selmar Conrad, the residence was adapted in 1935 for use as a Carmelite monastery and has remained a landmark on this eastern gateway into Adelaide.

The site forms part of the wider historic landscape of Myrtle Bank, once characterised by large estates, orchards and institutional properties along Glen Osmond and Cross Road. Its mature plantings contribute to the setting and reinforce its presence within the surrounding suburban fabric.



Figure 1: Aerial photograph of the former Archbishop's Residence, defined in blue.
Source: sappa.plan.sa.gov.au, accessed August 2025.

1.5 Information Provided

This Heritage Impact Statement is based upon the scope of work proposed for the SCC Carmelite Stage 2 Development, as documented on the following Walter Brooke drawings:

Drawing Number:	Drawing Title:	Revision #
23-0628	Carmelite S2 – Concept Design Presentation	10.09.2025
DA02	Site Plan – Overall	B
DA03	Site Plan - Lower	B
DA04	Site Plan - Upper	B
DA17	Elevations – Sheet 1	B
DA18	Elevations – Sheet 2	B
SK50	External Perspective – South Elevation	A
SK51	External Perspective – Elevation Showing Archbishop	A
SK52	External Perspective – West View	A
SK53	External Perspective – Archbishop	A
SK54	External Perspective - Archbishop	A

1.6 Acknowledgements

The authors of this Heritage Impact Statement would like to acknowledge the assistance of:

- *Conservation Management Condition Report* (August 2014), prepared by Katrina McDougall and Elizabeth Vines
- Dr Julie Collins - Senior Research Fellow, Architecture Museum, University of South Australia
- Stephanie Hellmann – Record Services & Archives Officer, Adelaide Catholic Archdiocesan Archives
- Celeste Klose – Heritage Register Officer, Department for Environment and Water

2.0 Historical Overview

2.1 Historical Overview

The following has been extracted from the City of Unley Heritage Surveys (1985, 2006) and the *Conservation Management Condition Report* prepared by McDougall & Vines in 2014, with additional updates to reflect more recent conservation works to the original building and property.

The former residence of the Roman Catholic Archbishop of Adelaide was constructed in 1896–97 for Archbishop John O'Reily. Designed by notable Adelaide architect Albert Selmar Conrad, the building was described in contemporary accounts as an example of the “modern domestic Gothic style of architecture, rugged and picturesque in appearance.” It was built of rock-faced Mitcham sandstone with brick dressings on a bluestone plinth and featured a prominent tower, arcaded verandahs and a finely detailed internal arrangement of reception spaces, study, oratory, private apartments, library, and service wing.

The property served as the Archbishop's residence until 1935, when it was transferred to the Discalced Carmelite nuns, newly arrived from Melbourne to establish Adelaide's first Carmelite convent. Extensive additions were then constructed to adapt the house to convent use. These included dormitory wings, refectories, chapels, and other ancillary accommodation. Built in stages, these additions progressively enclosed the original residence, obscuring its elevations and eroding the clarity of Conrad's design. By the late twentieth century, the integrity of the residence was heavily compromised, a condition noted in both the 1985 and 2006 City of Unley heritage surveys.

Following the Carmelite community's departure from the property in 2009, Southern Cross Care commissioned a *Conservation Management Condition Report* from McDougall & Vines (2014). The report confirmed the high significance of the 1896–97 residence and recommended removal of intrusive convent additions.

In 2018, demolition works were undertaken to remove the later fabric, including the nun's cells, chapel, and auxiliary convent buildings. These works revealed the original form and reinstated the prominence of Conrad's original design.

A major program of conservation works to the original fabric followed in 2021. These included structural stabilisation, conservation and repointing of stonework, reinstatement of roofing and chimneys, repair of verandah arcades, restoration of timber and masonry detailing, and the reopening of original window and door openings which had previously been concealed. The works re-established the architectural integrity of the residence and ensured its continued legibility.

Today, the former Archbishop's Residence survives as a rare, largely intact example of late nineteenth-century ecclesiastical domestic architecture in South Australia.

2.2 Development Sequence

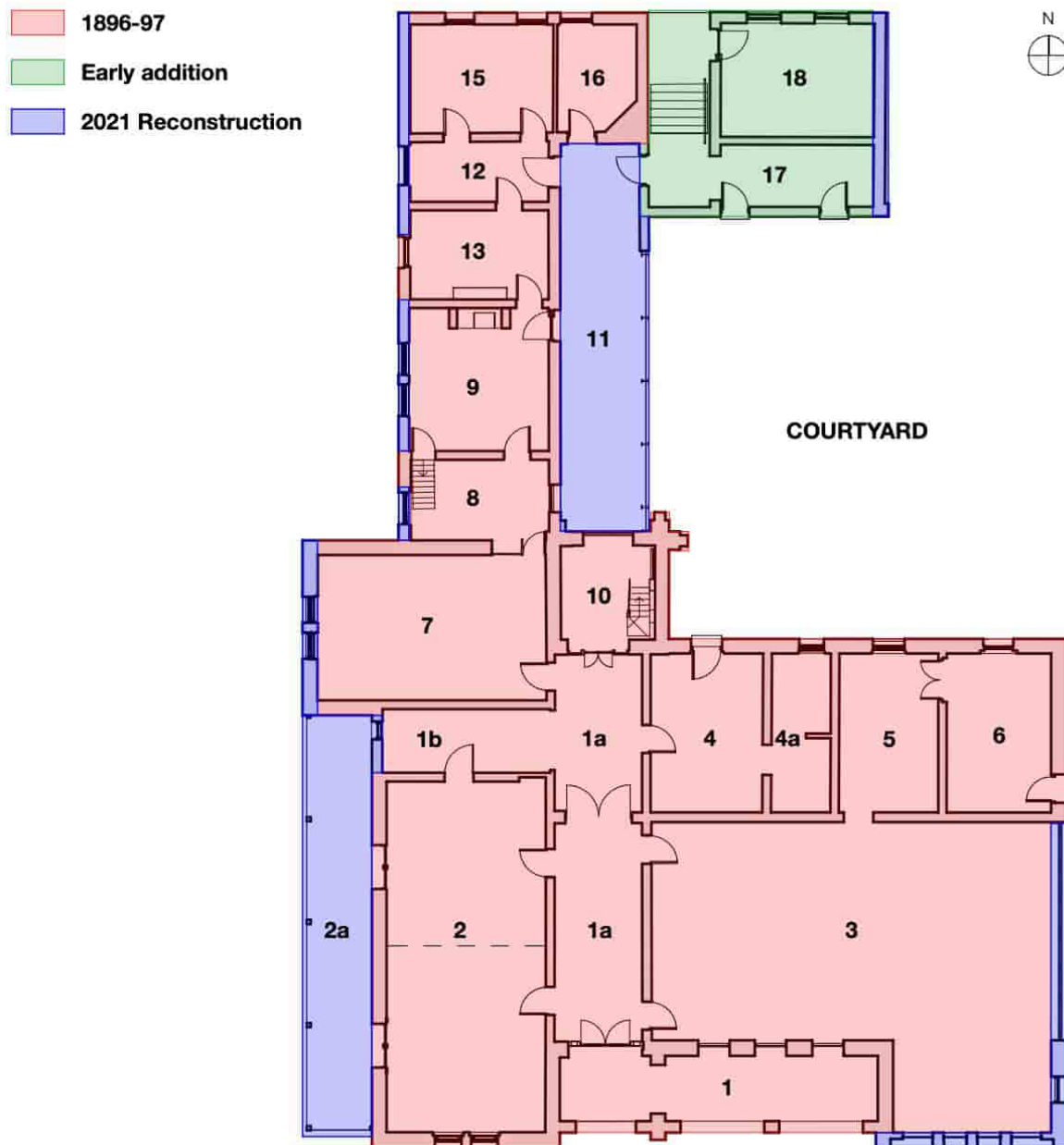


Figure 2: *Development Sequence, former Archbishop's Residence*
Source: *Hosking Willis Architecture*

Note, Rooms 17 and 18 are an early addition to the residence. Although the date is uncertain, the work is in the same style as the 1897 residence and is likely to have been undertaken to a design by the original architect, Albert Selmar Conrad.

2.3 Historic Photographs

Very few historic photographs of the Archbishop's Residence have been located and those available are limited to external views. These images are of particular value as they capture the original presentation of the building prior to the series of alterations and additions carried out during the twentieth century. They provide an important record of Albert Selmar Conrad's original domestic Gothic design, illustrating its characteristic stonework, roof forms and detailing before later changes modified its appearance.



Figure 3: *Early photo (n.d. – c.1900) of house as first constructed, from the south-east. The front (south) elevation/entry was accessed through the arcaded verandah and the east elevation was later substantially changed with the erection of the 1957 chapel*

Source: *Adelaide Catholic Archdiocesan Archives*



Figure 4: *Photo of house from the east, c 1935. Taken after the completed extension to the south to accommodate the new Carmelite use of the building. The semi-obscurd porch on the right is the same porch in the c.1900 photo.*

Source: *Adelaide Catholic Archdiocesan Archives*



Figure 5: Residence of Archbishop O'Reilly, c 1905
None of the later southern or western extensions are visible in this photo

Source: T Gill, *The history and topography of Glen Osmond, Vardon & Pritchard, 1905*

3.0 Site Description

3.1 Introduction

A survey of the present site was undertaken by Hosking Willis Architecture in May 2025. The survey was limited to visual observation and comparison with available documentary evidence, without any physical intervention to any building fabric.

3.2 Description

The former Archbishop's Residence occupies a corner site at Glen Osmond Road and Cross Road, Myrtle Bank. The property is enclosed by a high masonry wall which significantly limits views from the surrounding streets. The main entrance to the property is now provided via a gateway on Glen Osmond Road to the east.

The land presents a slight fall to the south. The residence maintains its original orientation, presenting its principal elevation to Cross Road, where it can still be interpreted as the formal frontage of the property.

The house is sited near the centre of the subject allotment. Removal of later additions has cleared space around it, giving the building a more open curtilage than in recent decades and allowing its form and detailing to be more easily appreciated. The immediate grounds are largely open but are framed by mature plantings.

A notable landscape feature is the line of pencil pines in the south-eastern corner of the site, together with other established trees which contribute to the landscaped character of the site. The open corner at Glen Osmond Road and Cross Road provides the principal landscaped aspect and has long been the most recognisable outward face of the property, particularly from the Glen Osmond Road / Cross Road intersection.

Within the Carmelite Retirement Living complex established on the broader site, the nineteenth century residence stands apart from the surrounding contemporary development. Its scale and fabric distinguish it as the heritage core of the site, reinforcing its continuing presence within the wider setting.

3.3 Current Photographs

For current photographs of the relevant interior spaces refer to the table in Section 6.0.

The photographs below show general views of the exterior of the former Archbishop's residence.



Figure 6: South-east view, framed by landscape, 2025
Source: Hosking Willis Architecture



Figure 7: West Elevation, 2025
Source: Hosking Willis Architecture



Figure 8: North-west view, 2025
Source: Hosking Willis Architecture



Figure 9: North elevation, 2025
Source: Hosking Willis Architecture



Figure 10: Eastern view of the south wing and tower, 2025
Source: Hosking Willis Architecture

4.0 Review of Heritage Value

4.1 General

The concept of heritage value assists in identifying and assessing the qualities that make a place or object of value to the community. An understanding of the nature and degree of that value indicates where constraint is required with future work, and conversely, introduces flexibility by identifying aspects that can be developed with greater freedom.

Heritage value encompasses all the values or meanings that a place may have to people beyond its utilitarian value and can refer to the criteria under Section 16 of the *Heritage Places Act* (1993) for state heritage places, and Section 67(1) of the *Planning, Development and Infrastructure Act* 2016 for local heritage places. A place can be designated as a place of state or local heritage value if it meets one of the criteria listed in the relevant Act.

4.2 Statement of Heritage Value

The *South Australian Heritage Places Database* includes the following statement of significance for the Carmelite Monastery (Place ID 14274):

The Carmelite Monastery is of considerable historical significance because of its original use as the residence of the Roman Catholic Archbishops of Adelaide. It is of additional importance as the convent of the contemplative order of Carmelite nuns, who took over the house in 1935. The original house still stands but its architectural integrity has been compromised by a number of additions.

4.3 Assessment Against Listing Criteria

The following section assesses the former Archbishop's Residence, later Carmelite Monastery, against the State Heritage criteria of the Heritage Places Act 1993. The responses are drawn from the State Heritage Register entry and the City of Unley Heritage Survey reassessments.

a) It demonstrates important aspects of the evolution or pattern of the State's history.
--

The residence was constructed in 1897 for the Roman Catholic Archbishops of Adelaide, reflecting the consolidation of the Catholic Church as an important religious institution in South Australia at the turn of the century. From 1935 it was occupied by the Carmelite nuns, marking the establishment of the first Carmelite convent in the State. Its dual role as episcopal residence and contemplative convent illustrates key phases in the development of Catholic life in South Australia.
--

b) It has rare, uncommon or endangered qualities that are of cultural significance.

The place does not meet the threshold for inclusion under this criterion.

c) It may yield information that will contribute to an understanding of the State's history, including its natural history.

The place does not meet the threshold for inclusion under this criterion.

d) It is an outstanding representative of a particular class of places of cultural significance.
--

The place does not meet the threshold for inclusion under this criterion.

e) It demonstrates a high degree of creative, aesthetic or technical accomplishment or is an outstanding representative of particular construction techniques or design characteristics.
--

The place does not meet the threshold for inclusion under this criterion.

f) It has strong cultural or spiritual associations for the community or a group within it.

The place does not meet the threshold for inclusion under this criterion.

g) It has a special association with the life or work of a person or organisation or an event of historical importance.

The building is closely associated with the Roman Catholic Archbishops of Adelaide, for whom it was purpose-built, and with the Carmelite nuns who occupied it from 1935 until 2009. It therefore has a direct and enduring association with two significant religious institutions in South Australia.

The Carmelite Monastery continues to satisfy the thresholds for inclusion on the State Heritage Register under criteria (a) and (g).

4.4 Integrity and Condition

The Archbishop's Residence retains much of its original 1896–97 external fabric, although for much of the twentieth century its presentation was obscured by later additions constructed during its use as a Carmelite Monastery. These were removed in 2018, followed by major external conservation works in 2021. As part of these works, walls were rebuilt where fabric had been cut into, openings were blocked, and masonry repaired, restoring the legibility of the original form and reinstating a coherent external envelope.

During these works, the western elevation required extensive rebuilding, as it had been heavily compromised by the monastery additions. The limited supply of suitable Mitcham stone was therefore prioritised for this elevation, ensuring that the most significant reconstruction work could be carried out in matching material. As a result, there was insufficient stone available for the eastern end of the southern façade, where a contemporary infill was introduced. This intervention draws inspiration from the proportions of the original windows, while remaining clearly legible as a modern reinterpretation, completing the symmetrical composition of the façade in a contemporary manner. The eastern elevation of the south wing, which had also been affected by abutting structures, was temporarily enclosed in 2021. As part of the proposed adaptation works it will receive a new permanent treatment in a contemporary language that complements the building's future community use.

Internally, the building exhibits a mixed level of integrity and conservation. The McDougall & Vines *Conservation Management Condition Report* (2014) noted that significant elements such as joinery, plasterwork, and fireplaces remained intact and in serviceable condition, though generally worn from long use. Other rooms had been heavily altered during the monastery period, leaving the overall quality of internal fabric variable. Many spaces retain original finishes and details, while others are in a deteriorated state.

In summary, the building's external integrity has been significantly enhanced by the recent removal of later additions and recent conservation works, with contemporary interventions introduced where reconstruction in original materials was not feasible. Internally, a substantial proportion of original fabric survives, but conditions vary and further conservation is required to stabilise and adapt the house for future use.

4.5 Significant Fabric

Primary significance – Elements of high heritage value that embody the principal cultural significance of the place.

Contributory significance – Elements that support or enhance the overall heritage value of the place, but are not individually significant.

Little or no significance – Elements that do not contribute to the heritage value of the place and may be neutral or intrusive.

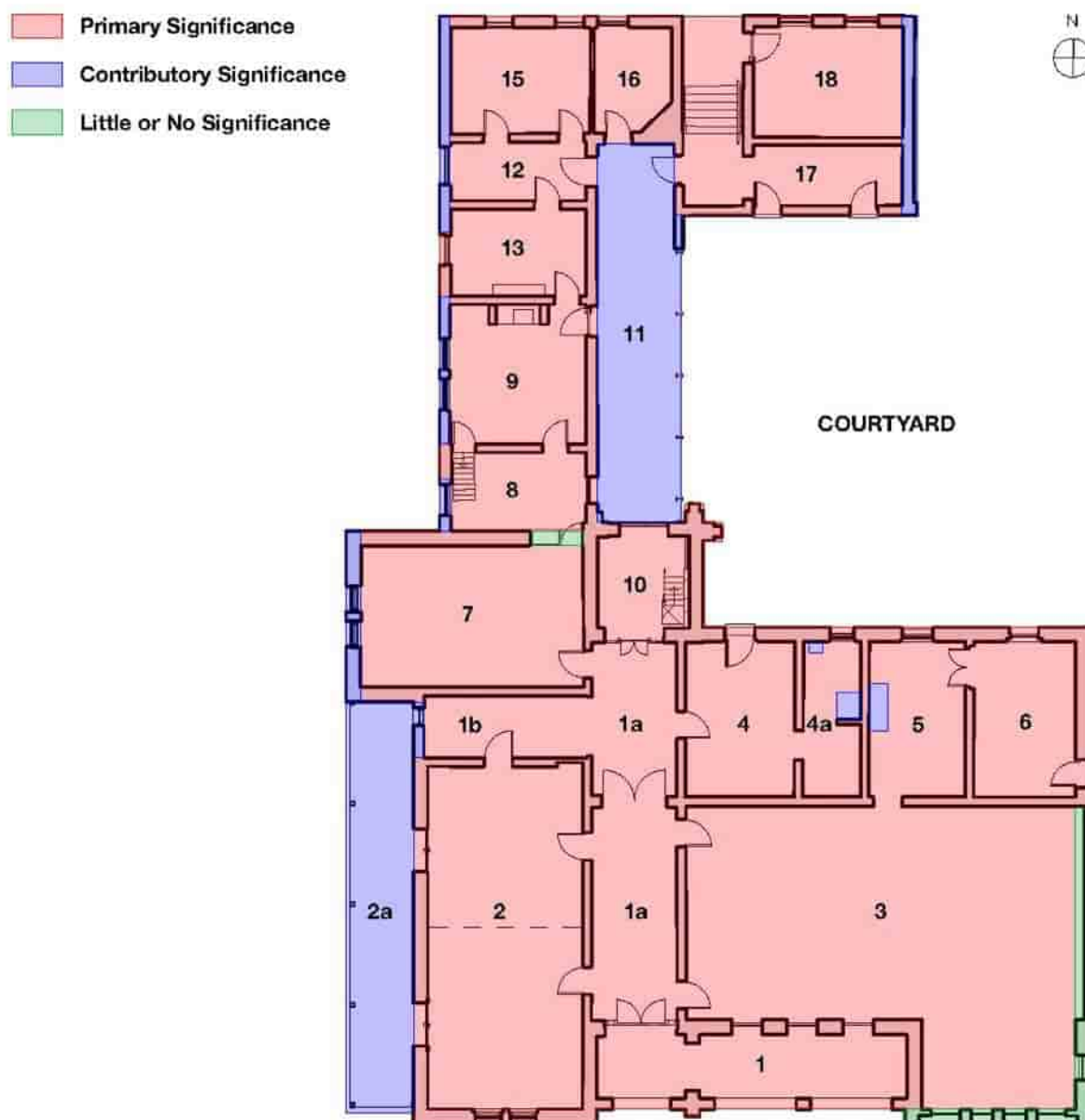


Figure 11: Significant Fabric, former Archbishop's Residence
Source: Hosking Willis Architecture

4.6 Sensitivity to Change

The Archbishop's Residence has differing levels of sensitivity to change that reflect both its original planning and the degree of later intervention.

The most sensitive elements are located in the southern wing, which forms the principal frontage of the house. These include the plan form and volumes of the entrance and hallways, former Archbishop's study, reception rooms and dining hall, as well as Rooms 4 to 6 to the north of these, which together embody the intended domestic Gothic character of the residence and illustrate its use as the Archbishop's official home. As the most intact and publicly representative interiors, the circulation spaces and Rooms 1a, and 3 to 6 are least able to accommodate alteration without loss of heritage value. Room 3, identified by McDougall & Vines as heavily altered, is of lower significance and therefore more capable of supporting adaptive reuse.

By contrast, the western service wing, which contained the kitchen, pantry, cellar and workrooms, was utilitarian in nature and has been subject to modification during both the Carmelite occupation and later works.

Key circulation spaces such as the entrance hall, stair and tower remain critical to the architectural character and significance of the building and are highly sensitive to change. With respect to interior fittings, not all joinery is significant. Only those elements identified by McDougall & Vines as original or of heritage value should be considered highly sensitive and retained accordingly.

In summary, the southern wing rooms and principal circulation spaces are the most sensitive to change, while the western service wing offers greater capacity for adaptation.



Figure 12: Sensitivity to Change, former Archbishop's Residence
Source: Hosking Willis Architecture

5.0 Proposal

5.1 Description of Proposal

The Southern Cross Care Carmelite Stage 2 Development comprises two principal components:

- The adaptive reuse of the Former Archbishop's Residence, a State Heritage Place, to provide a community centre for residents of the adjacent Southern Cross Care facility.
- The construction of two new residential buildings to the rear of the heritage place, designed to deliver contemporary retirement living accommodation and services.

5.1.1 Former Archbishop's Residence

The adaptive reuse works within the Former Archbishop's Residence will focus on retaining and conserving the significant late nineteenth-century form and fabric, while upgrading the internal environment to support its new function as a community centre. The project intent is to bring the building back into active use, providing flexible communal spaces which respect the historic plan form and finishes.

The scope of works within the residence generally includes:

- Refurbishment of principal rooms to accommodate multipurpose community uses.
- Conservation, repair and refinishing of existing timber floors, joinery and plasterwork, with new finishes introduced only where required for amenity.
- Installation of new services infrastructure to meet compliance standards.
- Selective formation or reinstatement of openings to improve circulation, generally located in areas of previous change or disruption to fabric.
- Upgrades to bathrooms and other ancillary spaces to provide accessible facilities.
- Repainting and other cosmetic works to provide a coherent interior presentation.

The proposed works have been developed with the intention of avoiding the loss of significant fabric, with new insertions designed to be reversible, where possible. The outcome will provide a highly functional community centre which enables social connection and wellbeing for residents, while preserving the heritage values of the Former Archbishop's Residence.

Further detail of the proposed works to each room of the residence is provided in section 6.

5.1.2 New Residential Buildings

Two new apartment buildings are proposed to the north of the Archbishop's Residence, providing a total of 46 retirement living units in a mix of two and three-bedroom configurations. The buildings are set above a basement level carpark which will accommodate resident and visitor parking. Building A1 includes three levels above basement (Ground, First and Second) over the larger of the two plan footprints and Building A2 includes five (Ground to Fifth).

The design adopts a contemporary style which draws on the character of the Former Archbishop's Residence through the use of robust, timeless materials and horizontal datum lines. These elements include deeply coloured stone plinths, sandstone coloured walling and strong vertically proportioned fenestration and detailing. The overall massing of the proposed development steps down across the site to minimise its prominence when viewed in the context of the heritage building.

Further detail of the proposed buildings is provided in Chapter 6.

5.1.3 Landscaping

The proposed landscape works will provide a series of gardens and open spaces linking the Archbishop's Residence, the new apartments and the wider Carmelite precinct. Key elements include a central green lawn, a courtyard garden beside the Residence, and a formal entry terrace marking the Community Hub. Apartment terraces, seating areas and new planting further support the outdoor amenity of the site.

Materials such as local sandstone garden walling, concrete paving and raised planters are proposed to reinforce the heritage setting. The planting scheme combines significant existing trees with new tree, shrub and groundcover species to provide shade, seasonal variety and continuity with the established garden character.

Further detail of the proposed landscaping is provided in Chapter 6.

6.0 Assessment of Proposed Development

6.1 Relevant Documentation

The impact of the proposed development has been assessed against the recommendations of the *Conservation Management Condition Report* prepared by McDougall & Vines in 2014, specifically against the internal analysis and recommendations, and relevant conservation policies. Since preparation of this document, the conservation and management of the building has evolved the recommendations have been considered as guidelines only.


6.2 Assessment of proposed development to former Archbishop's Residence



The comments below summarise the changes in each room and identify fabric that will be impacted or removed.



The proposed works have been developed in consultation with Heritage South Australia and reflect the sensitivity to change diagram in section 4.6. Spaces with a high sensitivity to change have been maintained in their current form with proposed scopes of work that will not detract from their heritage value.



The work in the spaces with a reduced sensitivity to change are more extensive but have been carefully considered to maintain the heritage value of those spaces within the broader Residence, and to minimise impact on the exterior of the building.




Associated services upgrade works have been developed with the intent to rationalise existing infrastructure within, and exterior to, the building, and to allow for further upgrades at a later date.



Room 1. Hall / External Cloister	
Background comments	Discussion of proposed works
<p>External arcaded area, later enclosed by louvre windows and doors. Reinstated to original condition during 2021 conservation works.</p> <p>Original window openings have been altered.</p> <p>The floor is later cement.</p> 	<p>Existing bead board ceiling, door, and joinery to be retained.</p> <p>Original window openings between R1 and R3 to be reinstated.</p> <p>New raised tiled floor to meet DDA compliance.</p>


Room 1a. Main Access Hall	
Background comments	Discussion of proposed works
<p>Main access hall, one of the most intact sections. Retains original joinery, pressed metal cornice, plaster ceiling, Baltic pine flooring, and original door configurations. Some glass replaced with later yellow glass. Evidence of original dado pressed anaglypta paper remains.</p> <p>Two holy water fonts remain.</p>  	<p>All original detailing to be retained and made good as required, including stained timber joinery, and original ceiling.</p> <p>Original Baltic pine flooring to be sanded and re-sealed.</p> <p>Levels at door threshold to be adjusted for DDA compliance.</p> <p>New feature wall linings.</p> <p>Middle double door and door out to Room 10 to be secured in open position and reviewed alongside BCA compliance.</p>



Room 1b. Back Access Hall – to be turned into an accessible toilet.	
Background comments	Discussion of proposed works
<p>Room of lesser significance. Likely a back hall into a later addition.</p> <p>Connection to Room 1a is through a later 1970s arch.</p> <p>Floor is linoleum over concrete, plain non-original ceiling.</p> 	<p>Room to be adapted to an accessible toilet with wall tiling.</p> <p>Door into Room 2 to be removed and infilled.</p> <p>Linoleum floor to be removed and new tiled floor to be installed.</p> <p>Non-original ceiling to be removed and replaced with new.</p> <p>Obscure film to be applied to non-original window.</p>
Room 2. Formerly two rooms – to be used as a lounge	
Background comments	Discussion of proposed works
<p>Originally two rooms with central fireplaces (removed). Original skirtings and architraves remain. Ceiling has been lowered with non-original plasterboard lining; floor is Baltic pine with repairs.</p> <p>Later shelves/cupboards added.</p> 	<p>Original skirtings and architraves to be retained and made good as required.</p> <p>Original Baltic pine flooring to be sanded and re-sealed.</p> <p>Levels at door threshold to be adjusted for DDA compliance.</p> <p>Non-original shelves/cupboards to be removed.</p> <p>Door into Room 1b to be removed and infilled.</p> <p>New plasterboard ceiling with Victorian coricing and detailing in line with traditional styling and appearance.</p> <p>New feature wall linings.</p>

	
<p>Room 2a. Reinstated verandah</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Original verandah removed due to later additions; reconstructed as part of 2021 conservation works.</p> 	<p>New floor to meet DDA compliance: tiled floor on pedestals, with perforated breathing grill at wall vent positions.</p> <p>Existing verandah plinth to be extended with frameless glazed balustrade along edges, and free-standing shade structure above.</p>
<p>Room 3. Former Rooms and later Chapel/Choir – to be used as a function & auditorium multi-purpose room</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>This room has been considerably altered and most original fabric has been removed at different stages. Some original window openings on the south wall remain but have been altered.</p> <p>The original Baltic pine floor remains under the carpet.</p>	<p>Room to be adapted for new use.</p> <p>Original Baltic pine flooring to be sanded and re-sealed.</p> <p>South windows to be retained and original openings to be reinstated.</p> <p>New feature ceiling and wall linings.</p> <p>New opening into Room 6 to be created.</p>

	<p>Later window on east wall to be infilled.</p> <p>Former connection to twentieth century chapel to be closed with new aluminium bi-folding doors and metal surround.</p>
	
<p>Room 4. Former Infirmary – to be used as a reading room</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Retains Baltic pine floor, early ceiling/rose, windows/doors. Later inbuilt cupboards present.</p> 	<p>Original ceiling, rose, skirtings, and architraves to be retained and made good as required.</p> <p>Original Baltic pine flooring to be sanded and re-sealed.</p> <p>Opening into Room 4a to be enlarged, leaving nibs and lintel at window height. Refer to Figure 13: Proposed typical wall opening</p> <p>Later inbuilt cupboards to be removed.</p> <p>New feature shelving.</p>

Room 4a. Anteroom off Room 4 – to be used as a library	
Background comments	Discussion of proposed works
<p data-bbox="220 293 762 389">Former bathroom of original residence, lacking proper skirtings/architraves. Features a significant 'turntable' joinery unit.</p>  	<p data-bbox="791 293 1331 389">'Turntable' joinery and holy water font to be retained. Other existing items (joinery and non-original sink) to be removed.</p> <p data-bbox="791 405 1353 470">Surviving skirtings/architraves to be retained and made good as required.</p> <p data-bbox="791 486 1342 582">Original Baltic pine flooring under linoleum to be sanded and re-sealed. Floor repair in matched board.</p> <p data-bbox="791 598 1366 694">Opening into Room 4 to be enlarged, leaving nibs and lintel at window height. Refer to Figure 13: Proposed typical wall opening</p> <p data-bbox="791 710 1241 743">Later inbuilt cupboards to be removed.</p> <p data-bbox="791 759 1038 792">New feature shelving.</p> <p data-bbox="791 808 1069 842">New feature wall linings.</p>

Room 5. Room – to be used as equipment/furniture store	
Background comments	Discussion of proposed works
<p>Originally accessed off hall from R3, access altered later. Ceiling retains original batten pattern. Contains other side of 'turntable' from Room 4a. Timber floor remains under linoleum.</p> 	<p>Original ceiling, rose, skirtings, and architraves to be retained and made good as required.</p> <p>'Turntable' joinery unit to be retained. Other existing items (joinery and non-original sink) to be removed.</p> <p>New commercial vinyl floor.</p>
Room 6. Room – to be used as equipment/furniture store	
Background comments	Discussion of proposed works
<p>Intact apart from relocated door. Contains original architraves, skirtings, and pressed metal ceiling.</p>	<p>Pressed metal ceiling, architraves, and skirtings to be retained and repaired.</p> <p>New commercial vinyl floor.</p>

	<p>Original opening off Room 3 to be reopened and enlarged for new double door.</p>
	
<p>Room 7. Former Nun's dining room – to be used as a cinema room</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Originally part of Archbishop's residence. Ceiling retains early configuration, and chimney has been removed. Original timber floor survives under linoleum.</p>	<p>Retain and repair ceiling and floor if possible. Original Baltic pine flooring under linoleum to be sanded and re-sealed. Joinery between Room 7 and 8 to be removed and infilled. New feature wall linings.</p>



Room 8. Servery – to be combined with Room 9 into a community kitchen

Background comments

The room retains an original external window with vent under and four panel door and associated joinery through to Room 9.



Discussion of proposed works



Joinery between Room 7 and 8 to be removed and infilled.



Wall and doors off to Room 9 to be removed and opening to be created, retaining wall nib and lintel at window height. Doors to be salvaged for future reuse. Refer to Figure 13: Proposed **typical wall opening**

Original Baltic pine flooring under linoleum to be sanded and re-sealed.

New glazed access hatch to cellar.

New ceilings throughout.

	
Room 9. Kitchen – to be combined with Room 8 into a community kitchen	
Background comments	Discussion of proposed works
<p>Original residence kitchen. Original chimney/fireplace remains, although the stove has been removed. Original ceiling survives but needs repair. Baltic pine floor remains under linoleum.</p>	<p>Original ceiling to be retained and made good.</p> <p>Wall and doors to Room 8 to be removed and opening to be created, retaining side wall nibs and lintel at window height. Doors to be salvaged for future reuse. Refer to Figure 13: Proposed typical wall opening</p> <p>Original chimney/fireplace to be made good, and new finishes and feature cladding to be added.</p> <p>New kitchen benches, island, feature wall tiling and ceiling.</p>
	
Room 10. Access corridor under Bell Tower	
Background comments	Discussion of proposed works
<p>Retains original timber access stair and bell rope. Stone walls and stained Baltic joinery.</p> <p>Recent concrete floor.</p>	<p>All original features to be retained and made good as required.</p> <p>New tiled floor on pedestals with perforated breathing grill at wall vent positions.</p>

	
<p>Room 11. External/internal Corridor adjacent to Bell Tower</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Retains stone wall and original door/window openings. Recent concrete floor and verandah roof.</p> 	<p>Space to be enclosed with a new full height frameless glazing and double door out to courtyard.</p> <p>New tiled floor on pedestals with perforated breathing grill at wall vent positions.</p> <p>New raked ceiling.</p> <p>Door to Room 17 to be removed and opening made good.</p>



Room 12. Internal Hallway – to be combined with Room 13 into a fine dining room

Background comments

Hallway retains early skirtings, architraves, and ceiling. Original four-panel access door. Timber flooring remains under linoleum.



Discussion of proposed works

Original ceiling, skirtings, and architraves to be retained and made good as required.

Original Baltic pine flooring to be sanded and re-sealed. Floor infill to match existing board.

Wall and door to Room 13 to be removed and opening to be created, retaining wall nibs and lintel at window height. Door to be salvaged for future reuse. Refer to Figure 13: Proposed **typical wall opening**

New ceilings throughout.



Room 13. Staff Room – to be combined with Room 12 into a fine dining room

Background comments

Retains timber floor (linoleum over), skirtings, architraves, ceiling, and chimney breast backing onto kitchen.





Discussion of proposed works



Original ceiling, skirtings, and architraves to be retained and made good as required.


Original Baltic pine flooring to be sanded and re-sealed.

Original chimney/fireplace to be made good, and new finishes and feature cladding to be added.

Wall and door to Room 12 to be removed and opening to be created, retaining wall nibs and lintel at window height. Door to be salvaged for future reuse. Refer to Figure 13: Proposed **typical wall opening**

	
<p>Room 14. Cellar (under Room 8)</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Appears dry and in good condition.</p>	<p>Continue to use for storage if required.</p>
<p>Room 15. Staff Room – to be combined with Room 16 into a multi-purpose room</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Originally two rooms (evident in ceiling detail, access doors and wall traces). Retains windows, joinery, doors, and ceiling.</p>	<p>Original ceiling, skirtings, and architraves to be retained and made good as required.</p> <p>Original Baltic pine flooring to be sanded and re-sealed. Floor infill to match existing board.</p> <p>Wall between Room 15 and 16 to be removed.</p> <p>New ceiling and joinery.</p>
	
<p>Room 16. Staff Room – to be combined with Room 15 into a multi-purpose room</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Retains skirtings, architraves, doors, ceiling, mantle, and Baltic pine floor.</p>	<p>Original ceiling, skirtings, and architraves to be retained and made good as required.</p> <p>Original Baltic pine flooring to be sanded and re-sealed.</p>

	<p>Wall between Room 15 and 16 to be removed. New ceiling. Make good, add new finishes and new hearth and mantle to existing fireplace.</p>
	
<p>Room 17. External Passage / Link</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Early gabled link. Likely originally open. Retains stone walls, bluestone plinth, slate treads, and brick landing.</p>	<p>New tiled floor on pedestals, with perforated breathing grill at wall vent positions New handrails, nosing, and tiled finish to existing stairway. Existing slate steps to be protected below new finish for potential future reinstatement. New frameless glazed gate. New ceiling, including thermal insulation.</p>

	<p>Wall between Room 17 and 18 to be removed and opening to be created, retaining wall nibs and lintel. Refer to Figure 13: Proposed typical wall opening</p> <p>Southeast window to be obscured with a film.</p>
<p>Room 18. Anteroom – to be turned into toilet amenities</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>
<p>Lower level room, likely an early extension. Retains external four-panel door with fanlight and furniture. Ceiling largely intact, with evidence of subdivision.</p>	<p>Wall between Room 17 and 18 to be removed and opening to be created, retaining wall nibs and lintel. Refer to Figure 13: Proposed typical wall opening</p> <p>Ceiling to be removed, trusses exposed, ceiling void renovated, and insulation added.</p> <p>Floor level to be raised to match other existing rooms.</p> <p>Existing door to remain and be secured closed.</p> <p>New tiled floor on pedestals, with perforated breathing grill at wall vent positions, on raised slab.</p> <p>Northeast window to be obscured with applied film.</p>
<p>Courtyard</p>	
<p>Background comments</p>	<p>Discussion of proposed works</p>

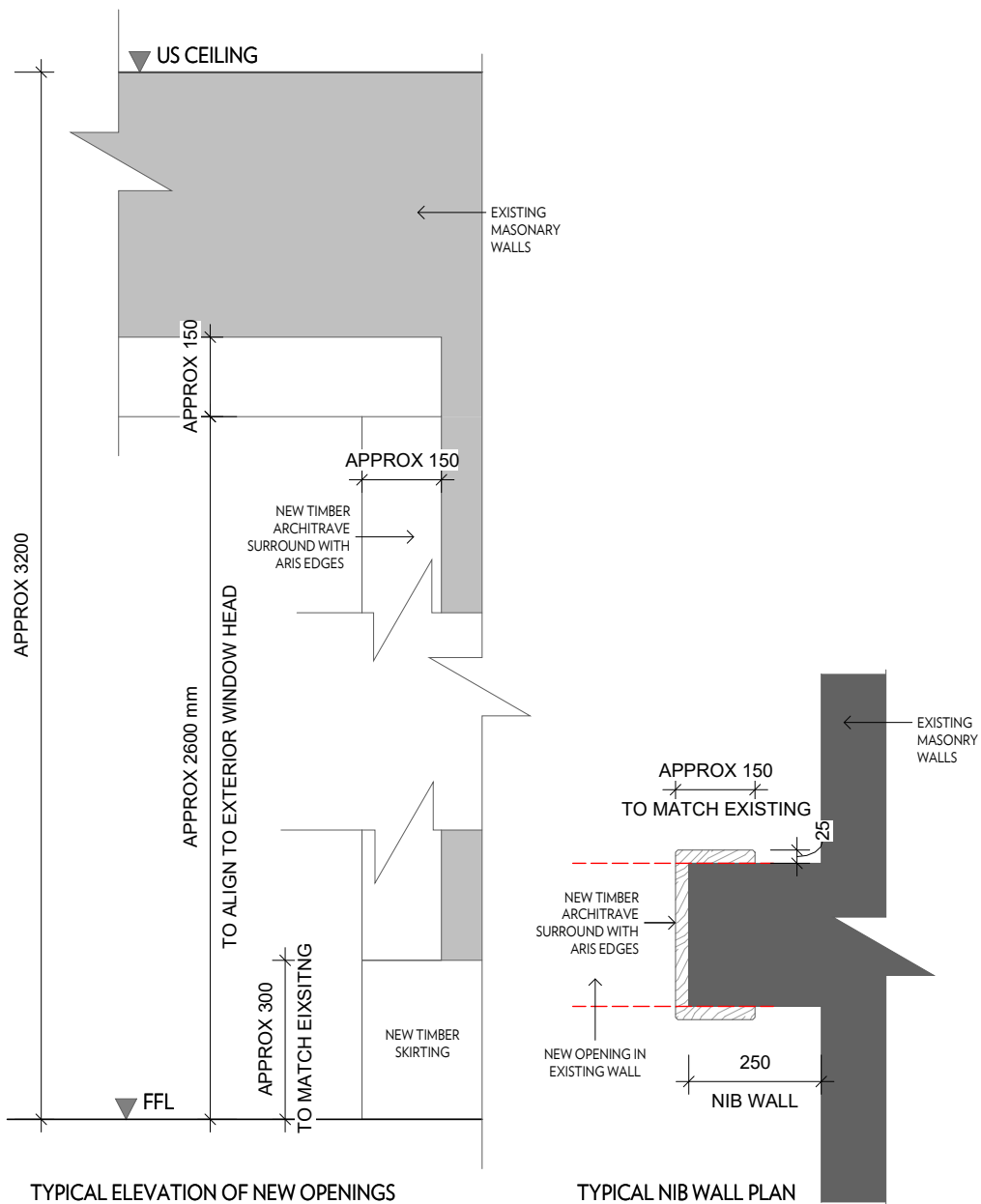
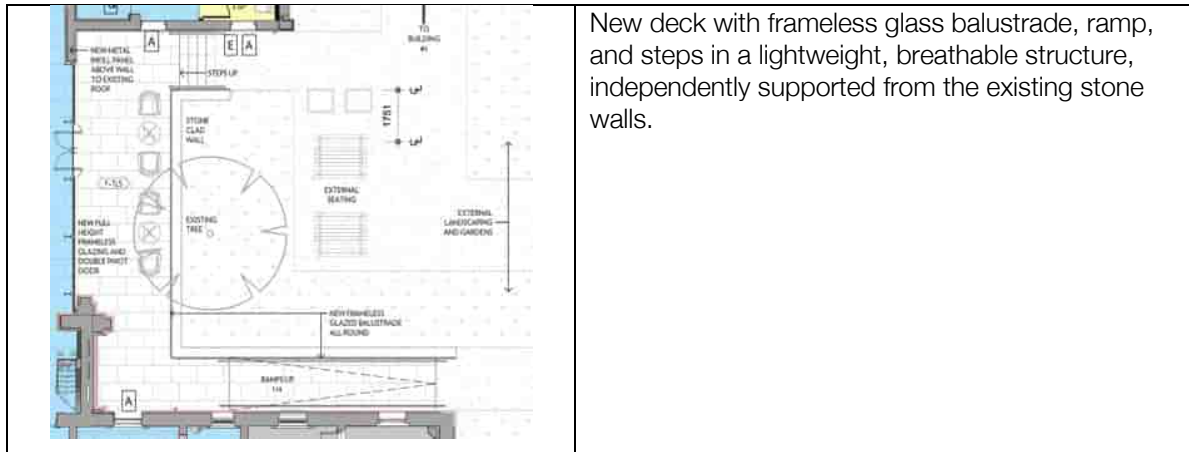


Figure 13: Proposed typical wall opening
Source: Walter Brooke

6.3 Assessment of proposed Residential Buildings

The two new apartment buildings (A1 and A2) will deliver 46 retirement living units supported by a basement/undercroft carpark. Their design and placement have been developed with regard to the heritage value of the Former Archbishop's Residence, while also responding to the urban context of the site.



Figure 14: Proposed new buildings and former Archbishop's Residence, viewed from the West.
Source: Walter Brooke



Figure 15: Proposed Site Plan
Source: Walter Brooke

Scale and siting

Building A1 is positioned to the north-west, while Building A2 is located to the immediate north of the Archbishop's Residence. A2 is the taller of the two, extending to five storeys above the basement level.

The siting of the taller form along Glen Osmond Road reflects its role as a principal arterial road in Adelaide's south-eastern transport corridor. Concentrating the greater height in this location responds appropriately to the surrounding urban scale. Toward the west, by contrast, adjoining buildings are of a smaller scale, and the new development steps down accordingly. While Building A2 is the larger of the new elements, its massing is articulated to reduce its visual bulk when viewed in proximity to the Residence.

The relationship between Building A2 and the Former Archbishop's Residence maintains a clear distinction between the historic and new built form. A consistent separation is retained so that the Residence continues to read as a freestanding building within its setting. Locating A2 to the northern side, historically associated with service functions, ensures that the principal elevations and formal presentation of the Residence remain dominant from primary approach points.

The alignment of Building A2 is offset from the western façade of the Residence. This preserves views of the north-western corner of the Residence from the landscaped plaza between Buildings A1 and A2 and avoids visually crowding the heritage building.

It was noted in the 2014 McDougall & Vines Conservation Management Condition Report that the belltower on the Archbishop's Residence should retain its visual prominence. The Belltower will only be viewed with the building as a backdrop from within the site and only from views to the south and southwest of the Archbishop's Residence.

The proposal maintains a curtilage around the Former Archbishop's Residence, allowing it to remain clearly identifiable within an open setting. Significant plantings around the buildings and site will screen and block longer views to the buildings and further reduce the visual impact of Building A2 in the context of the Archbishop's Residence.



Figure 16: South Elevation Perspective

Source: Walter Brooke

Form and articulation

Both buildings adopt a contemporary architectural language that is clearly distinguishable from, yet compatible with, the Former Archbishop's Residence.

Stone plinths conceal carparking within the undercroft levels. Facades incorporate vertical and horizontal elements and sandstone-toned precast panels. This articulation reduces the apparent mass of the buildings and responds to the proportions and roof heights of the Residence.

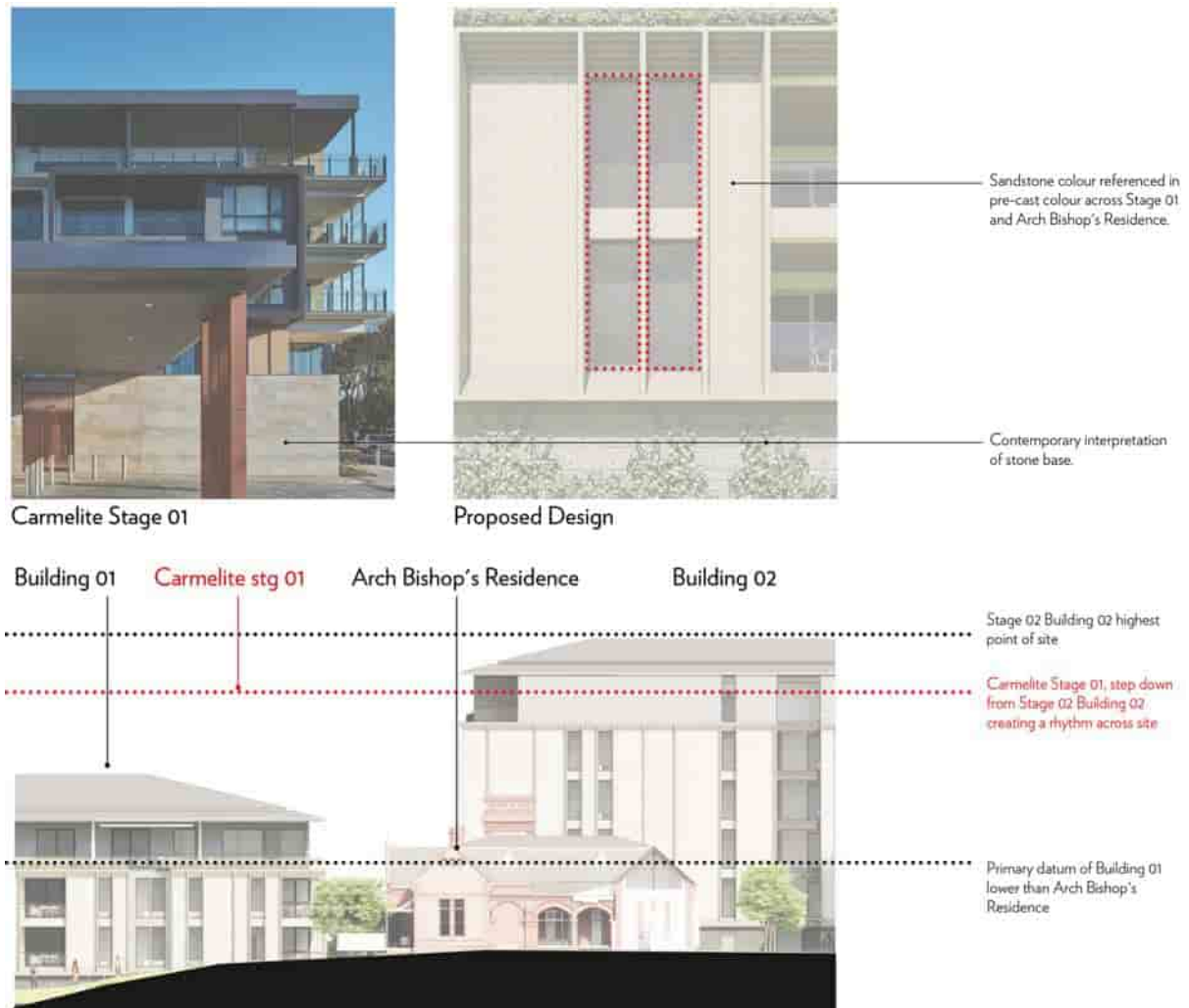


Figure 17: Proposed forms and articulation
Source: Walter Brooke

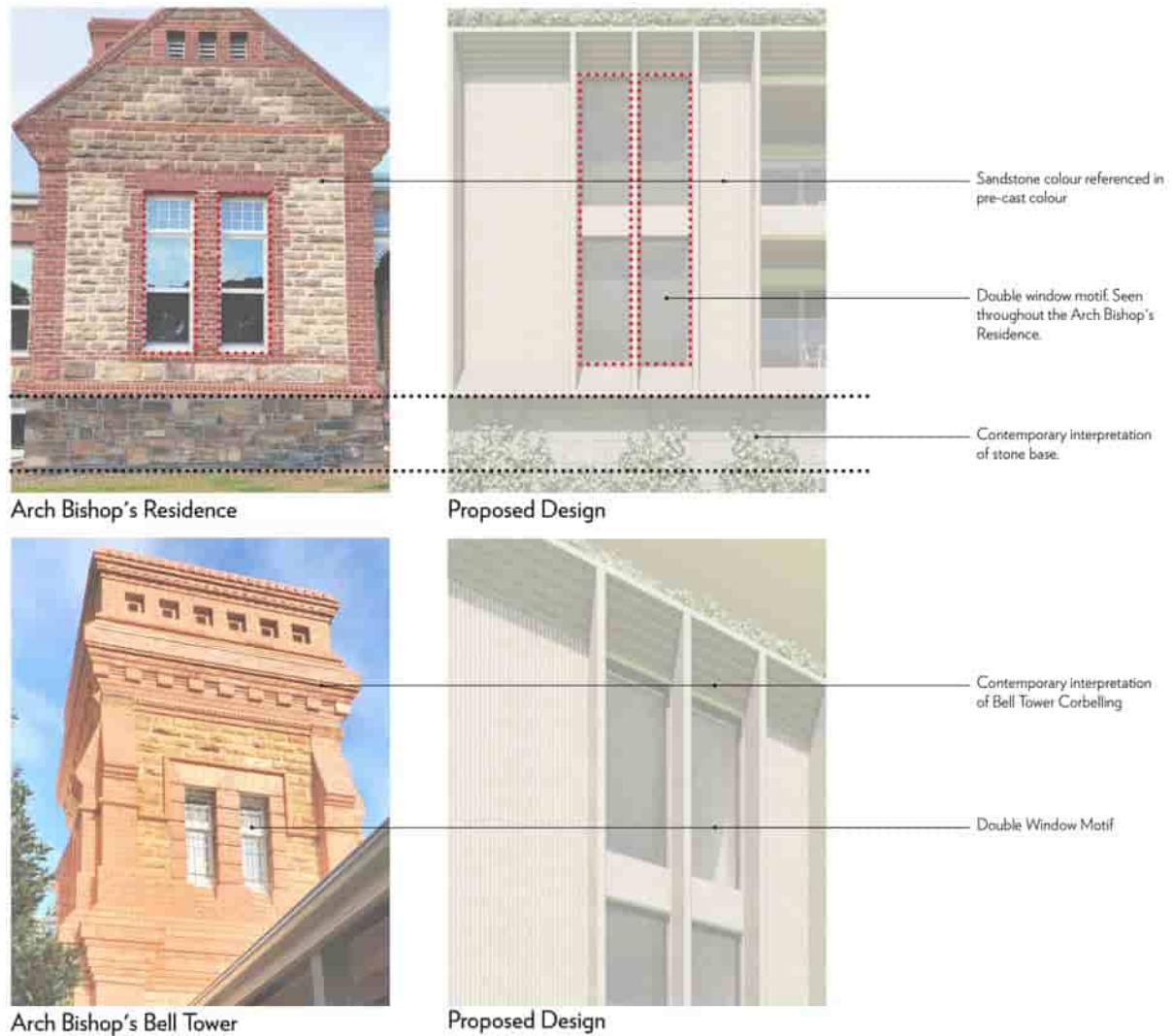


Figure 18: Proposed articulation
Source: Walter Brooke

Parking and circulation

Carparking is contained within the plinth levels of the two proposed buildings, avoiding the need for any significant open surface parking adjacent to the heritage building. This treatment ensures that the setting of the Archbishop's Residence is not compromised by visually intrusive utilitarian areas. Visitor parking is limited and located with generous separation from the heritage curtilage.

Circulation for community buses and service vehicles is positioned along the northern boundary, behind the new buildings. This arrangement maintains the prominence of the Residence's principal elevations and limits utilitarian activity within its immediate setting.

Impact assessment

Buildings A1 and A2 introduce new forms to the Carmelite site in a contemporary style that references the material character of the Archbishop's Residence through stone plinths, sandstone tones and vertical detailing. Of the two, Building A2 is the taller element, positioned along Glen Osmond Road where larger built forms are more appropriate. Its location to the rear of the Archbishop's Residence, historically the service side, means the principal elevations and formal setting remain unaffected.

The proposal accommodates contemporary retirement living requirements while respecting the established hierarchy of significance of the heritage place. Spatial separation, moderated massing, façade treatment and landscape design ensure that the setting, curtilage and visual prominence of the Former Archbishop's Residence are retained.

In relation to the included internal works, the proposal aims to retain and conserve as many significant original volumes and form, as well as fabric of the former Archbishop's residence as possible. Based on recent confirmation of the previous assessments of significant fabric, efforts have been made to focus the works of greatest impact within the areas of the residence identified as most tolerant to change. These are generally areas where there has already been considerable alteration, or areas which are more utilitarian in nature.

The proposal includes removal of a small number of internal dividing walls to form enlarged volumes. While this will result in the loss of some original fabric, the retention of bulkheads and nib walls in these instances will assist with future interpretation of the original internal planning of the spaces and reduce the impact of the work. Other demolition works are limited to the removal or adaptation of non-original fabric or finishes.

6.4 Assessment of proposed Landscaping

The landscape masterplan prepared by Oxygen establishes a series of interconnected outdoor spaces that integrate the heritage building, the new apartments and the wider precinct. Each zone has been assessed for its potential impact on heritage values.



Figure 19: Proposed Site Plan
Source: Walter Brooke

Legend

1. Eastern entry from Spence Avenue, bus park, visitor car park, bin store and access to Myrtle Cottage Day Respite.
2. Apartment A1 entry, community bus drop-off zone and car parking.
3. Central 'Green' with access paths, lawns, various planting zones and seating areas.
4. Apartment Terrace with raised planters, small trees, seating opportunities and shelter.
5. Courtyard garden adjacent the Archbishops Residence 'Community Hub', stone walls, seating opportunities and terrace with ramped access.
6. Formal entry to Archbishops Residence 'Community Hub' with feature paving, raised planters, seating and lawn with access to the proposed community hub terrace and building veranda.
7. Formal lawn framed with tree planting and arbours.
8. Open lawn with tree planting and existing Pine trees.
9. Vehicle and pedestrian access from Glen Osmond Road with community bus stop drop-off zone, car parking, seating and tree planting to eastern boundary.



INSITU CONCRETE PAVING

INSITU CONCRETE WITH LIGHTLY WASHED EXPOSED AGGREGATE FINISH

USE: PATHWAYS THROUGHOUT SITE

FEATURE STONE

STONE UNIT PAVERS INLAID INTO INSITU CONCRETE

USE: FEATURE PAVING AT BUILDING ENTRANCES

STONE WALLS

LOCAL SANDSTONE WALLS

USE: RETAINING WALLS AND SEATING WALLS AROUND ARCHBISHOPS RESIDENCE 'COMMUNITY HUB'



ARBOURS & SHELTERS

STEEL AND TIMBER ARBOURS AND SHELTERS

USE: FORMAL LAWNS AND APARTMENTS TERRACE



RAISED PLANTERS

RAISED MASONRY PLANTERS

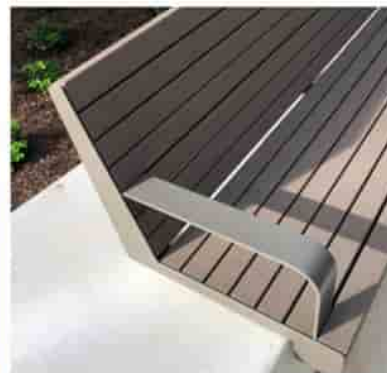
USE: ON PODIUM LEVEL TERRACE BETWEEN THE APARTMENT BUILDINGS



NATURAL STONE FEATURE ROCKS

LOCALLY CUT STONE PLACED SET IN STONE AGGREGATE

USE: ENTRY TREATMENT ON SPENCE AVENUE



BENCH SEATING

ERGONOMICALLY DESIGNED SEATING WITH PAINTED STEEL AND COMPOSITE TIMBER FINISH

USE: RAISED PLANTERS & SEATING WALLS

Figure 20: Proposed landscape materials and elements
Source: Walter Brooke

Impact assessment

The landscape works are designed to integrate the Archbishop's Residence with the new apartment buildings and the wider precinct, while enhancing the curtilage of the heritage place.

Access and circulation elements such as the eastern entry from Spence Avenue, visitor and bus parking, and the apartment forecourts are placed at the edges of the site or behind the new buildings. This arrangement ensures that vehicle movements and service functions are kept away from the immediate setting of the Archbishop's Residence.

Within the centre of the site, the new gardens provide a sequence of open spaces that support the community hub role of the heritage building. The central green lawn, the formal entry terrace and the courtyard adjoining the Residence create accessible gathering spaces. Local sandstone walls, simple paving and raised planters are proposed so that new works are compatible with the heritage character.

The scheme also reinforces the gardened curtilage that has historically framed the Archbishop's Residence. Formal lawns with arbours and new tree planting recall the tradition of estate landscapes, while open lawns retain significant pines and integrate them into a broader planting palette. This balance of retention and renewal strengthens the continuity of the garden character and provides seasonal variety.

The plinth level to Building 2 to the rear of the Archbishop's Residence has been softened with the inclusion of additional landscaping. This has created a more pedestrian friendly circulation space and introduced a landscape element between the two buildings.

Overall, the landscape works are considered to have a positive impact. They improve the presentation of the Archbishop's Residence, enhance accessibility and amenity, and reinforce the setting of the heritage place within the Carmelite precinct.

6.5 Assessment Summary

The intent of the proposed development is to adaptively reuse the former Archbishop's Residence at Myrtle Bank as a community centre for Southern Cross Care residents, while also introducing two new apartment buildings and landscaping scheme.

The former Archbishop's Residence is included in the *Planning and Design Code* as a State Heritage Place; originally constructed in 1896–97 as the Archbishop's home and later adapted in 1935 for use as a Carmelite Monastery. Its subsequent twentieth-century additions, which compromised the architectural integrity of the building, were removed in 2018, with major external conservation works completed in 2021. These works reinstated much of the building's original presentation, particularly through reconstruction of the western elevation in locally quarried Mitcham stone, though the southern elevation required the use of contemporary masonry, due to material shortages.

Internally, the house retains a mix of intact original fabric and areas heavily modified during its monastery period. Some rooms retain original joinery, plasterwork and fireplaces of high integrity, while other areas have been more substantially altered over time. This distribution of significance provides the basis for adaptive reuse: areas of higher sensitivity to change will be retained with minimal intervention, while less sensitive rooms can accommodate new services and functional upgrades required for the building's ongoing operation.

The proposal continues the tradition of adaptation that has characterised the Residence throughout its life, first as an Archbishop's home, then as a monastery, and now as part of a retirement community. Interventions are largely confined to the upgrading of service areas, the insertion of contemporary amenities in previously altered spaces, and the provision of new connections which support accessibility and community use. These measures have been designed in accordance with the policies of the 2014 McDougall & Vines *Conservation Management Condition Report*, ensuring that works are reversible where possible, and that significant fabric and spaces are retained and conserved.

The two proposed apartment buildings have been sited and designed to complement, rather than compete with, the Archbishop's Residence. Both buildings adopt a contemporary style which references the residence through the use of stone plinths, sandstone tones and vertical detailing, creating a sympathetic relationship without direct imitation. Building A2 introduces a taller form to the north of the heritage building, aligned with Glen Osmond Road as a major arterial corridor and addressing the less significant service side of the house. Its separation, articulation and placement ensure that the Residence continues to read as a freestanding and visually dominant element within the site. Building A1, to the north-west, provides additional accommodation in the same architectural language, contributing to the overall coherence of the precinct. Except for a limited number of open parking spaces situated along the Glen Osmond Road boundary of the property and visually separated from the Residence by landscaped garden area, carparking is otherwise contained within the building plinths and service circulation is directed behind them, avoiding intrusion into the heritage curtilage and maintaining the primacy of the Archbishop's Residence.

The proposed landscape works enhance the setting of the Archbishop's Residence. A formal entrance terrace, central green lawn and courtyard garden reinforce its presentation as the focal element of the site, while the retention of significant trees ensures continuity of its established garden character. New planting, stone walls, and simple paving treatments are consistent with the heritage setting and support the role of the Archbishop's Residence as a community hub. Irrigated planting should be set clear of the external stone walls to avoid moisture impacts on significant fabric.

The establishment of new buildings to the rear of the site, together with the landscape improvements, allows the heritage building to continue to be the primary architectural focus within the principal view cones from Cross and Glen Osmond roads, while accommodating the broader requirements of Southern Cross Care's Stage 2 Development. Compared with previous site conditions, built form immediately adjacent to the Residence has been reduced, improving openness and reinforcing its legibility within the broader precinct. Overall, the works represent a continuation of the building's pattern of renewal and adaptation, ensuring its conservation and relevance for contemporary community life while safeguarding the values for which it is listed on the State Heritage Register.

6.6 Conclusion of Heritage Impact

Hosking Willis Architecture have carefully considered the likely visual and physical impacts of the proposed development on the heritage value of the State Heritage Place and the relevant policies contained within the 2014 *Conservation Management and Condition Report*.

Hosking Willis Architecture has aided Walter Brooke develop an appropriate design solution and strategies to ensure that the proposed development will not diminish the heritage value of the Former Archbishop's Residence. The revised design of Building A2, including façade articulation and moderated presentation toward the Residence, further reinforce this outcome.

The adaptive re-use of the heritage-listed Archbishop's House will establish a community-focused facility which integrates the building's historic fabric with the contemporary needs of Southern Cross Care residents. By supporting healthy ageing, social connection and wellbeing, the development will contribute positively to the quality of life of the community while ensuring the continuing conservation and visibility of this significant State Heritage Place. In doing so, the Archbishop's Residence will continue to function as an important local landmark and community facility.