

Catcon Pty Ltd C/- Woodhead GHD

Variation to DA 020/0003/14A

203 North Terrace, Adelaide

Development Authorisation 020/0003/14A Variation 1 - Internal works and changes to the southern façade affecting a State Heritage item

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OVERVIEW

Application No	020/0003/14A Variation 1
Unique ID/KNET ID	2015/17410/01 (#11773625)
Applicant	Catcon Pty Ltd c/- Woodhead GHD
Proposal	Variation to Development Authorisation 020/0003/14A – for the adaptive reuse of a State Heritage listed building and construction of a tower above, with a combined total of 19 levels and basement, comprising residential, office and commercial uses, roof top garden and ancillary car parking – Variation is removal and salvage of interior structure, installation of replacement structure, internal fittings, realigned car lift shaft and feature stair between ground and first floor level.
Subject Land	203 North Terrace, Adelaide
Zone/Policy Area	Capital City Zone, Central Business Policy Area 13
Relevant Authority	State Commission Assessment Panel
Lodgement Date	30 October 2015 (previous application assessed under Development Plan 17 January 2014)
Council	City of Adelaide
Development Plan	Adelaide (City), consolidated 24 September 2015
Type of Development	Merit
Public Notification	Category 1
Representations	N/A
Referral Agencies	State Heritage Unit, Government Architect
Report Author	Gabrielle McMahon, Principal Planner and Ben Scholes, Project Officer
RECOMMENDATION	Conditional Development Plan Consent

EXECUTIVE SUMMARY

In 2014 the former Development Assessment Commission approved a development for the adaptive reuse of the State Heritage listed building at 203 North Terrace and for the construction of a tower above, with a combined total of 19 levels and basement, comprising residential, office and commercial uses, roof top garden and ancillary car parking.

The approval included a number of conditions and reserve matters which were subsequently discharged. The applicant now seeks to vary the application in response to investigations into the integrity of existing structural and non-structural timber elements within the existing building which revealed significant white ant damage.

The revised proposal is a Category 1, merit application which involves mandatory referrals to the Government Architect and the Department of Environment, Water and Natural Resources (State Heritage Unit).

Whilst some elements of the modified proposal are supported by the State Heritage Unit, the proposed removal of existing timber structure and associated building fabric is not supported and the matter is therefore required to be considered by the State Commission Assessment Panel.

Although considered an unfortunate outcome, removal of the existing building's internal structure will enable otherwise reasonable development to proceed generally as approved, and will be supplemented by a reserved matter concerning the conduct of archival recording, deconstruction, salvage, storage, protection and future use of removed fabric.

ASSESSMENT REPORT

1. BACKGROUND

1.1 Strategic Context

The previous application was assessed under the Adelaide City Development Plan, consolidated on 17 January 2014. The current application is to be assessed by the provisions in the Development Application dated 24 September 2015.

It is acknowledged that there is a more recent Development Plan dated 30 May 2017. While the policies have changed over this time, there is no significant change in policy applicable to this particular site as they relate to the items the applicant seeks to modify.

The approved proposal was assessed under provisions that generally sought uplift, a continuous built edge along North Terrace and adaptive reuse of State Heritage Places. Policies in the 24 September 2015 Development Plan also seek comparable outcomes with respect of public realm treatments, heritage conservation and built form.

1.2 Previous Approval

On 12 June 2014 the former Development Assessment Commission approved an application for a mixed use development comprising the adaptive reuse of a State Heritage listed building and the construction of tower above for residential and office uses. More specifically the proposal comprises the following:

Adaption of a State Heritage listed Place (former G&R Wills Warehouse), including significant alterations to the North Terrace façade and internal changes. Heritage intervention includes:

- Intervention at the main North Terrace entrance to provide equitable access (in accordance with the Building Code of Australia and disability access requirements) to the building (deletion of stair, lowering of doors and installation of matching panel above);
- The conversion of the existing basement windows at the eastern end of building to provide fire and gas services access;
- Reinstatement of windows over the existing 'vehicle' opening (that are currently non original louvers);
- Reinstatement of pediment at the apex of northern façade;
- Repointing of stonework to the façade generally;
- An increase in the height of existing 'vehicle' opening (by reducing the height of the expressed lintel); and

Replacement of the gates to the 'vehicle' opening with a pair of interpretive (perforated metal) panels that show an image of the missing elements.

Basement: Services, bin store, loading area, access to car lift, 1 car space (waiting bay), bicycle parking (18 spaces) The transformer is to be located in the basement and accessed via a hatch within the driveway. This will also be used for the main electrical switchboard.

Ground, mezzanine & level 1: Retail

Levels 2 to 4: 18 car parking spaces (access is via a car lift in the basement)
Levels 5 to 8: Office
Levels 9 to 17: Residential – one apartment per floor
Level 18: Roof top garden, partly enclosed (access available to all residents)
Building height of 73m (116.62m AHD)
Vehicle access to the car park is via North Terrace, utilising an existing cross over
<p>External materials include:</p> <ul style="list-style-type: none"> • Eastern and western facades: Textured white precast panels (with vertical shadow lines which wrap over the top of the building), polished precast white panels, articulated double skin to carpark façade • Northern façade: Flush glazed curtain wall double skin with stainless steel fixings, articulated double skin to carpark façade, charcoal window frames, frameless glass balustrade with stainless steel handrail fittings, copper panel soffit lining • Southern facade: Power coated framed curtain glazing, with a slight grey tint glass

2. DESCRIPTION OF PROPOSAL

The changes sought as part of the application are aimed at achieving the following arising from a modified structural retention methodology and detailed site investigations:

- removal of existing internal structural and non-structural timber due to extensive white ant damage;
- addition of a new structural steel and concrete slab solution for Level 1 and the southern portion of the Ground Level integrated with lateral restraint and bracing systems;
- addition of suspended plasterboard ceiling below the proposed first floor slab with an expressive treatment at the junction of existing (stone) internal walls;
- salvage of existing timber boards, skirtings, architraves, bearers /joists and timber and cast iron columns for cleaning and reuse over the new slab (where possible) or storage prior to potential reinstatement at a future time
- partial demolition of rear (southern) wall to accommodate a realigned car lift shaft;
- installation of drop ceiling south of repositioned car lift shaft to accommodate services fitout and air-conditioning unit within the lower floors of the building; and
- installation of a feature stairwell between ground and first floor levels.

Application plans and details are contained in **Attachment 1**.

3. SITE AND LOCALITY

3.1 Site Description

The subject site is located at 203 North Terrace Street, Adelaide and is formally described in the following table:

Lot No	Filed Plan	Street	Suburb	Hundred	CT Reference
A2	2373	North Terrace	Adelaide	Adelaide	5263/314



Figure 1 – Site Location

The subject land is rectangular in shape and comprises a total site area of 490 square metres with a frontage of 16.45 metres to North Terrace and a depth of 27.27 metres.

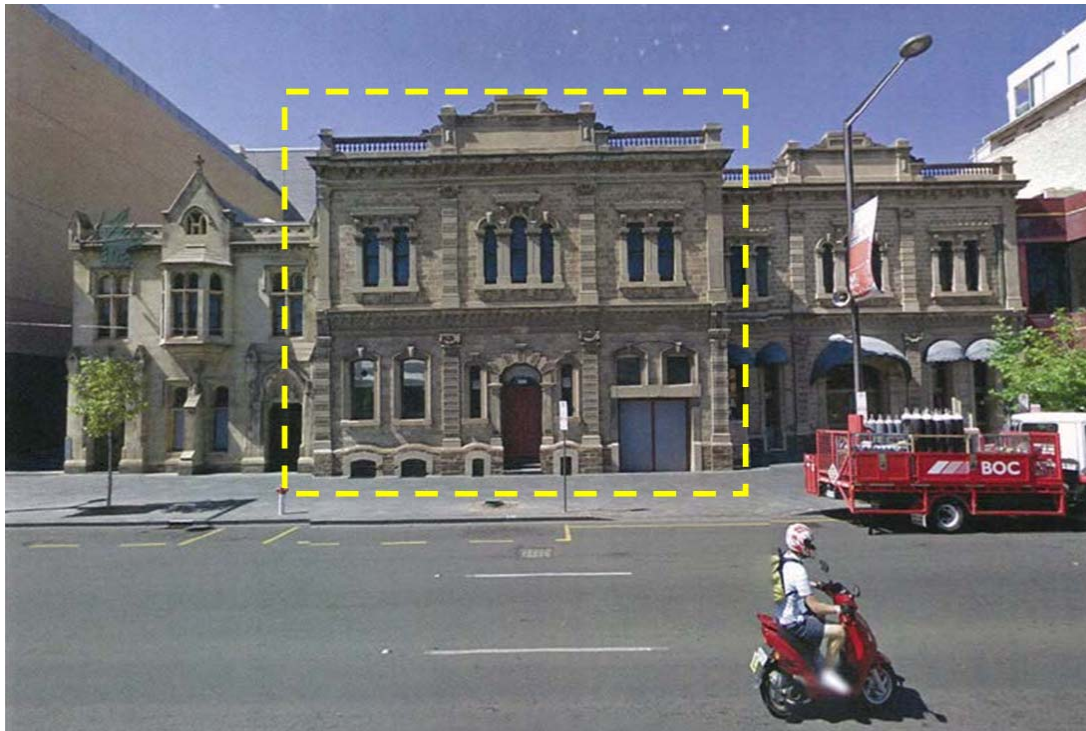


Figure 2 – 203 North Terrace, North Elevation

The subject site contains a State Heritage listed building, being 2 levels above ground and a basement level. This building formed part of a wider complex of buildings used more recently (after 1942) by John Martins & Co.

Either side to the east and west are State Heritage listed places. There is a 3.04 metre easement over the adjoining property to the south providing access to light.

The following is an extract from the advice from the SHU on the heritage significance of the place:

Statement of heritage significance

The former G&R Wills warehouse at 203-205 North Terrace and the adjacent neo-Gothic building to the east at 206-207 North Terrace were jointly entered in the SA Heritage Register in 1986 as *Office (former Dwelling and Consulting Rooms) and former G&R Wills Warehouse*. The former *Gallerie* shopping centre building to the west (also part of the former G&R Wills warehouse) is separately listed in the SA Heritage Register.

The following is an extract from the Statement of Significance in the SA Heritage Register, insofar as it pertains to the subject building at 203-205 North Terrace (ie excluding material pertaining to the neo-Gothic building at 206-207 North Terrace).

The former warehouse (1878), is historically significant for its direct association with the large South Australian merchant firm of G & R Wills & Co. Founded in 1849, the company traded throughout Australia, with branches in three States, as well as extensive Adelaide operations including clothing and shoe factories and their import business.

Designed by Daniel Garlick, the three-storey building is of masonry construction with classical Italianate stucco detailing which is particularly decorative for a commercial building.

Its architectural significance is enhanced by the high integrity of both the exterior and interior, with most of the fabric remaining in near original condition. Slender cast iron columns allow undivided space on all three floors, and are an important feature of the interiors.

The warehouse forms a pair with a similar building located on its western side, which was constructed for G & R Wills & Co some years earlier.

[Adapted from: Danvers Architects Pty Ltd '203-7 North Terrace, Adelaide Conservation Study' March 1989]

In 2013 DASH Architects were commissioned by the applicant to prepare a high level conservation management plan as an update of the conservation study referenced above, which was completed. The updated report was completed in draft form in May 2013 with amendments proposed to the statement of significance.

Of note is the revised third paragraph, as follows:

The North Terrace façade retains a high level of integrity, however the interior is in a generally dilapidated state. Its significance is limited to the undivided space on all three floors supported by cast iron and timber columns.



Figure 3 – Historical Photograph of former warehouse on subject land

3.2 Locality

Adjacent development consists of the following:

- North: To the north of the site are the institutional uses facing North Terrace (SA Art Gallery, Institute Building, SA Library etc)
- East: Directly east, sharing a common wall is a State Heritage listed building, used as an office. Further east is David Jones (including the private road with a double crossover and access to the loading dock for the Adelaide Central Shopping Plaza)
- South: Directly south are retail / office uses
- West: Directly west, sharing a common wall is a State Heritage listed building. Most recently this building was used as the former John Martin's department store (Gallery). The subject site shares a common wall with portion of this building with several penetrations that have now been closed up. This party wall is reflected by appropriate easements on the title for the land.

4. COUNCIL COMMENTS or TECHNICAL ADVICE

4.1 City of Adelaide

The City of Adelaide was consulted and has no comment to make on the application.

5. STATUTORY REFERRAL BODY COMMENTS

Referral responses are contained in the **Attachment 4**.

5.1 State Heritage Unit, DEWNR

The State Heritage Unit (SHU) is a mandatory referral in accordance with Schedule 8 of the *Development Regulations 2008*, as the works will materially affect a State Heritage Place and the Commission must have regard to this advice.

The SHU has raised concerns, given the level of intervention to the building; the proposed demolition of existing internal structure including original floors and columns is not supported.

The proposed partial demolition of rear (southern) wall to accommodate re-aligned car lift and the proposed additional stair between upper ground floor and first floor level are considered to have a relatively minor impact on the heritage significance of the State heritage place, and are supported subject to conditions.

Refer to the Section 8 of the report for assessment details.

5.2 Government Architect

The Government Architect was consulted and considers that the extent of the changes has not affected the substance of the proposal, and continued support for the application is maintained.

6. PUBLIC NOTIFICATION

The application is a Category 1 development pursuant to PDC 37 of the Capital City Zone. No public notification was required.

7. POLICY OVERVIEW

The subject site is within Central Business and Policy Area 13 of the Capital City Zone as described within the Adelaide (City) Development Plan Consolidated 24 September 2015. Relevant planning policies are contained in **Attachment 6** and are summarised below.

7.1 Central Business Policy Area 13

The Policy Area is considered the pre-eminent economic, governance and cultural hub for the State, and is supported by educational, hospitality and entertainment activities and increased opportunities for residential, student and tourist accommodation.

Buildings will exhibit innovative design approaches and produce stylish and evocative architecture, including tall and imposing buildings that provide a hard edge to the street and are of the highest design quality.

Development should contribute to the area's role and function as the State's premier business district, having the highest concentration of office, retail, mixed business, cultural, public administration, hospitality, educational and tourist activities.

7.2 Capital City Zone

The Capital City Zone is recognised as the principal focus for economic, social and political life of metropolitan Adelaide and the State. A wide range of employment, community, educational, entertainment, tourism and residential land uses are envisaged, reinforcing the city as a place of diversity and vibrancy.

North Terrace will be reinforced as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile. Development along North Terrace should reinforce the predominant scale and 'City wall' character of the Terrace frontage and reinforce the gridded layout of Adelaide's streets.

Contemporary juxtapositions will provide new settings for heritage places. Innovative forms are expected in areas of identified street character, referencing the past, but with emphasis on modern design-based responses that support optimal site development.

Whilst no guidance relates specifically to adaptive re-use of heritage items, the Zone accommodates multiple examples of places of State heritage significance and procedural matters are established protecting against total demolition of these places by way of a non-complying trigger for this activity.

7.3 Council Wide

Council Wide (Heritage and Conservation) policy of relevance to the assessment include:

Objective 43: Development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.

Objective 44: Continued use or adaptive reuse of the land, buildings and structures comprising a heritage place.

PDC 136: Development of a heritage place should conserve the elements of heritage value as identified in the relevant Tables.

PDC 137: Development of a State Heritage Place..... including:

- a) Adaptation to a new use;*
- b) Additional construction;*
- c) Part demolition*
- d) Alterations; or*
- e) Conservation works*

should facilitate its continued or adaptive use, and utilise materials, finishes, setbacks, scale and other built form qualities that are complementary to the heritage place.

8. PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Adelaide (City) Development Plan, which are contained in **Attachment 6**.

8.1 Heritage and Conservation

The following is a summary of the changes proposed by the applicant and the subsequent SHU and Staff comments.

1. Amendments to the structural retention methodology.

The structural changes are proposed to address the damage to the existing structural timber caused by the incursion of termites. A large proportion of structural and non-structural timber had been damaged throughout the building. The original methodology entailed the utilisation of this timber floor and column structure and integrated the preservation of these elements within the overall structural solution.

A report by Adelaide Pest Control identified that a long-term commercial warranty from a certified termite eradication contractor cannot be provided. It is therefore proposed that a new structural steel and concrete slab solution for both Level 1 and the southern portion of Ground Level be employed. The revised structural

support methodology document is attached 'Structural Methodology for Heritage Retention Utilising Temp Bracing'.

Beyond the revised structural solution for these floors and in the provision of fit out, the applicant's heritage consultant considers the most honest design approach in a modern commercial interior space is to provide for clean modern finishes and linings. A new flush plasterboard ceiling at constant level will be suspended below the first floor slab with an expressive treatment at the junction with the old stone walls (as per detail on drawing A0656).

This is a contemporary approach that pays respect to the old stone structure allowing it to be featured as an important element and texture within the whole interior scheme. Together with the reuse of the old timber floor boards for the same reason, this approach adds real value and differentiation to the marketability of the space as tenants are sought to make commitment.

The cosmetic reinstatement of the old cast iron and timber columns, and the formation of interpretive bearers into the ceiling profile is viewed as a forced solution that provides no real practical or aesthetic benefit to the spaces in question. The solution involves:

- The existing timber boards, skirtings and architraves are to be salvaged, assessed for damage, cleaned and reused over the new slab wherever possible;
- In demolishing the existing structure, we propose to carefully remove and salvage the old cast iron and timber columns on lower, ground and first floors; and the old bearers/joists supporting ground and first floor. Then record and store these original elements for possible reinstatement at a future time.

SHU Response

In the recent amendment of the variation proposal, the recycling of salvaged floorboards on new concrete slabs remains but the ceiling linings are now proposed as single-plane flushed plasterboard, and the re-use of original columns is deleted.

The proposal fails to address the heritage impact inherent in this major loss of heritage fabric, constructional integrity and historic character. The recent amendments reduce the opportunities for visually interpreting the original internal construction and character to just the floorboards, which are ubiquitous in many historic buildings and are the least representational or distinctive feature of the G & R Wills warehouse's particular construction type.

The heritage values of the building are embodied both in the architectural qualities of its North Terrace frontage and in the ability of its extant fabric to represent its warehouse function. The latter quality is expressed principally by the building's internal fabric, spatial qualities and historic character. The loss of all internal structure and fabric as proposed by this variation constitutes a major impact on its heritage values.

The initial project was described as 'adaptive re-use' of the State heritage place. The equivalent term used in the Burra Charter is 'adaptation', to which the following Articles apply.

- 21.1 Adaptation is acceptable only where the adaptation has minimal impact on the cultural significance of the place.
- 21.2 Adaptation should involve minimal change to significant fabric, achieved only after considering alternatives.

Explanatory notes: Adaptation may involve additions to the place, the introduction of new services, or a new use, or changes to safeguard the place. Adaptation of a place for a new use is often referred to as 'adaptive re-use' and should be consistent with Article 7.2.

7.2 A place should have a compatible use.

1.11 Compatible use means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.

The variation proposal differs fundamentally from the approved scheme in this respect, retaining only the masonry shell of the place, and none of the material expression of its historically significant construction and use as a warehouse.

The 2015 termite report does not detail the extent of damage at that time, and it is unclear whether a program was to be initiated to manage the problem and limit ongoing damage. There is no related information in the variation application identifying what control or management measures have been taken since the problem first came to light in an attempt to arrest damage.

Related issues such as a blocked and overflowing box gutter on the eastern boundary have not been addressed, resulting in falling damp to the eastern wall that will have been conducive to ongoing termite activity and is also affecting the neighbouring State heritage place. It is not evident in the variation application what alternatives might have been considered with the aim of majority retention of extant original fabric.

Staff Comment

Although the applicant acknowledges that the original approval constitutes a compromise for all parties, it considers that the current proposal to remove the remaining internal structure and its replacement with a modern structure cannot be economically avoided.

Whilst recognising other alternatives including those suggested by the SHU may be possible, the applicant asserts the impact of some of these alternative approaches would be to undermine the financial viability of the project.

It is noted the Statement of Heritage Significance applicable to the place in the SA Heritage Register indicates "*Its architectural significance is enhanced by the high integrity of both the exterior and interior, with most of the fabric remaining in near original condition.*"

The applicant's recent investigations into the integrity of the building's interior have identified the extensive damage believed to be caused by termite infestation, a fact which could not reasonably have been accounted for by the Heritage Register entry without invasive inspection being undertaken.

The whole of the place is listed on Adelaide City Council Development Plan Table Adel/1 as being worthy of conservation, however the intent of Objective 42 is considered of importance in this circumstance, as it envisages development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.

Although the conservation and reuse of internal fabric is preferable and encouraged by the Development Plan, it is recognised that this fabric makes only a limited contribution to the built form of the locality and accordingly, its retention should not prevent otherwise reasonable development seeking to renew the use of

an architecturally significant building in a highly prominent location, achieving the contemporary juxtaposition and new setting for the heritage place as desired in the Capital City Zone.

In the event the State Commission Assessment Panel were to determine support for the application, the SHU has suggested that matters concerning the particulars of archival recording, deconstruction, salvage, storage, protection and future use of removed fabric be reserved for further assessment.

This is considered to represent the most practicable outcome enabling the development to proceed whilst retaining evidence of the historic significance of the building interior, and maintaining the potential for its reuse.

2. Position of the car lift shaft within the southern stone wall.

The partial demolition of the rear southern wall is proposed to accommodate a re-aligned car lift. This is driven by the need to obtain compliance with Australian Standard 2890.1:2004 and to create sufficient vehicle turning space in the affected floors.

See attached drawings 33-17640 A-0403 and detail on 33-17640 A-0677 with the lift shaft texture painted and the edge of stonework expressed with repaired and repointed stone dowelled into the new concrete shaft. Note that the site title boundary to the light well easement is concurrent with the southern edge of the wall thus limiting any ability to overhang the lift shaft beyond the stone face.

SHU Response

Support subject to a condition requiring further detail. *The southern wall is contained within a light well with very limited visibility. The removal of a vertical strip of the wall to allow re-alignment of the car lift would have no impact on the architectural values of the place, and its impact on the representational values of the place as a warehouse would be minor.*

Staff Comment

Supportive of the SHU recommendation to apply the following condition:

Prior to commencement of works to remove a section of the southern wall to accommodate the car lift shaft, details of the following particulars shall be submitted to the satisfaction of the planning authority in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources).

- Work method statement for removal of masonry and support of retained masonry;
- Making good and finishing of retained edge at junction with car lift shaft; and
- Finish to exposed face of car lift shaft including interpretation of removed fabric and features such as openings

3. Bulkhead along eastern wall for mechanical and hydraulic installations

In order to make provision for future exhaust and mechanical fit out within the Ground floor. See drawings 33-17640 A-0201 ceiling plan and 33-17640 A-0403 south elevation. A drop ceiling is proposed just south of the lift core to accommodate the air conditioning unit which is being installed as part of the base build works. This zone will also be utilized for amenities on L1 as part of any future tenancy leasing negotiations.

SHU Response

Supported. *The extent of the bulkhead is considerably reduced in the current amendment compared to the extent indicated in the initial variation proposal, and is shown as being contained within the proposed amenities zone for the upper ground floor. In this amended form, its heritage impact in both a material and a visual sense would be negligible.*

Staff Comment:

Supportive.

4. Feature stair from Ground Level to Level 1.

It is proposed to or an additional stair between upper ground floor and first floor level to create a direct link between Ground and Level 1. This is proposed because Ground floor provides a small tenancy space and in order to make it more commercially viable a direct connection has been made with Level 1. Refer to the drawings attached and specifically 33-17640 A-0553 for details.

SHU Response

Supportive subject to a condition requiring investigation of a single central stair. The SHU consider that there might be ways of achieving the aims in a more heritage-friendly manner. *As currently proposed, the stair under the central skylight connects the lower and upper ground floor levels, with the additional stair diagonally offset. In this location, it detracts from the central stair's ability to interpret the original layout, and increases the degree of intrusion into the originally open floor space.*

Staff Comment:

Supportive of the SHU recommendation to apply the following condition:

Prior to the forming of voids in the first floor structure and pouring of footings for the central stair (lower ground to upper ground), further investigation shall be undertaken and documented to the satisfaction of the State Commission Assessment Panel authority in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources) into a combined central stair connecting lower ground, upper ground and first floor levels.

8.2 Design and Appearance

Relatively minor modifications to the exterior fabric of the rear of the building are proposed to achieve technical requirements of the Australian Standard related to the design of off-street parking facilities; these modifications are not expected to detrimentally influence the appearance of the development from the primary street frontage and will not compromise the high quality standard of design sought within the Zone and Policy Area.

The Government Architect (GA) has confirmed the extent of the proposed variation has not affected the substance of the proposal referred to in the pre-lodgement agreement obtained by the applicant in 2015, and having considered the variation details and evaluating the design merit of the project on the whole, the GA continues to support the proposal.

9. CONCLUSION

The applicant seeks to vary the operative consent granted for the adaptive reuse of a State Heritage listed building at 203 North Terrace, Adelaide and construction of a mixed-use tower above. Recent investigations into the existing building's internal fabric has revealed extensive damage to structural and non-structural timber members and materials, believed to be caused by white ant infestation.

The applicant asserts it has exhausted all economically viable options available for conservation of this fabric and now proposes to remove and salvage those materials to enable construction of a contemporary structure and fitout suitable to the approved retail use whilst maintaining the potential for the existing fabric to be reused in future.

The State Heritage Unit of the Department of Environment, Water and Natural Resources is not supportive of this element of the application, believing it to differ fundamentally with the approved scheme and extinguish the material expression of its historically significant construction and use as a warehouse.

The proposed demolition of extant internal structures may be considered to seriously diminish the heritage significance of the place and its historic interpretation and, whilst departing from Council Wide policy seeking development that retains heritage value including buildings and structures comprising a heritage place, an alternative structural system will enable contemporary adaptation of an architecturally significant building as desired in the Capital City Zone.

Additional changes involving installation of a feature stairwell, mechanical services bulkhead and positioning of a vehicle lift shaft are considered comparatively minor and have been offered conditional support by referral agencies.

A reserved matter has also been prepared setting out steps to be taken by the applicant in respect of archival recording, deconstruction, salvage, storage, protection and future use of removed fabric.

10. RECOMMENDATION

It is recommended that the State Commission Assessment Panel:

- 1) RESOLVE that the proposed development is NOT seriously at variance with the policies in the Development Plan.
- 2) RESOLVE that the State Commission Assessment Panel is satisfied that the proposal generally accords with the related Objectives and Principles of Development Control of the Adelaide City Council Development Plan.
- 3) RESOLVE to grant Development Plan Consent to the proposal by Catcon Pty Ltd for removal and salvage of interior structure, installation of replacement structure, internal fittings, realigned car lift shaft and feature stair between ground and first floor level at 203 North Terrace, Adelaide subject to the following reserved matters and conditions of consent.

RESERVED MATTERS

1. Pursuant to Section 33(3) of the *Development Act 1993*, the following matters shall be reserved for further assessment, to the satisfaction of the State Commission Assessment Panel, prior to the granting of Development Approval:
 - 1.1 Detailed proposals shall be prepared and submitted to the satisfaction of the State Commission Assessment Panel in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources) addressing the following heritage issues.

- a) The archival recording of the building's interior in general accord with the following guideline, with specific reference to the requirements for State heritage places. The minimum requirement shall be a photographic record and measured drawings. Digital photography may be acceptable subject to appropriate archiving provisions. A high resolution point cloud laser scan may be acceptable as an alternative to measured drawings.
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/info/archivalrecords.pdf>
- b) A work method statement for the deconstruction and salvage of internal fabric, including its recording and labelling.
- c) A proposal for the interim storage and protection of salvaged fabric.
- d) A strategy for the future deployment of salvaged fabric, either for incorporation into the project or for other uses.
- e) A proposal for the in situ interpretation of the building's former use and internal construction as part of the project

PLANNING CONDITIONS

1. That except where minor amendments may be required by other relevant Acts, or by conditions imposed by this application, the development shall be established in strict accordance with the details and plans submitted in Development Application 020/0003/14A, other than where superseded by the varied plans and details submitted in Development Application 020/0003/14A V1.

Plans by Woodhead, project no. 12.1101.01

Plan Number	Revision	Date
SK001	A	9.6.14
SK002		27.11.13
SK003	A	17.4.14
SK004	A	27.11.13
SK005	A	27.11.13
SK006	A	9.6.14
SK007	A	9.6.14
SK008		27.11.13
SK009		27.11.13
SK010		27.11.13
SK011	A	9.5.14
SK012	A	9.5.14
SK013		27.11.13
SK014		1.7.14
SK015	A	2.5.14
SK016		20.3.14
SK017		27.3.14
SK018		2.5.14
SK019		30.4.14

Plans – Reserve Matters

Plan Number	Revision	Date
SK1001		Sept 2014
SK1002		Sept 2014
SK1003		Sept 2014

Plans by Woodhead GHD / Wallbridge & Gilbert

- 33-17640 A-0102 – GA PLAN GROUND & LEVEL 1 Rev D
- 33-17640 A-0201 – RC PLAN LEVELS STREET, GROUND AND 1 Rev C
- 33-17640 A-0301 – FINISHES PLAN & ELEVATIONS Rev C
- 33-17640 A-0304 – INTERNAL ELEVATIONS GROUND & LEVEL 1 Rev B
- 33-17640 A-0403 – PART ELEVATION SOUTH Rev C
- 33-17640 A-0460 – SECTION A LOWER Rev C
- 33-17640 A-0553 – STAIR DETAILS SHEET 4 Rev D
- 33-17640 A-0656 – SECTION DETAILS Rev B
- 33-17640 A-0677 – PLAN DETAILS 3 Rev C
- WAD1211048 S1.20C

Reports / Correspondence

- Development Assessment Report, Phil Brunning & Associates, dated May 2014 and letter dated 13 May 2014
 - Conservation Management Plan by Dash Architects, ref DA132838, Revision A, dated 2/5/13 and letter of support dated 22 April 2014
 - Statement of Heritage Impact, Woodhead, dated 29 November 2013
 - Traffic report by Phil Weaver, dated 29 November 2013 and supplementary information in the letter dated 14 May 2014
 - Waste management advice by Rawtec, November 2013
 - Acoustic Report by Resonate, ref A13221RP1, Rev 0, dated 5 August 2013
 - Wind Assessment by Vipac, ref 50B-13-0093-TNT-336636-1, dated 27 November 2013
 - WAD121048 RevA Structural Methodology for Heritage Retention Utilising Temp Bracing by Wallbridge & Gilbert dated 31 August 2015
 - Adelaide Pest Control Report 14 July 2015
2. Prior to commencement of works to remove a section of the southern wall to accommodate the car lift shaft, details of the following particulars shall be submitted to the satisfaction of the State Commission Assessment Panel in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources).
 - Work method statement for removal of masonry and support of retained masonry;
 - Making good and finishing of retained edge at junction with car lift shaft; and
 - Finish to exposed face of car lift shaft including interpretation of removed fabric and features such as openings
 3. Prior to the forming of voids in the first floor structure and pouring of footings for the central stair (lower ground to upper ground), further investigation shall be undertaken and documented to the satisfaction of the State Commission Assessment Panel in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources) into a combined central stair connecting lower ground, upper ground and first floor levels.
 4. External and internal conservation works as outlined in the 2013 Woodhead report (pp 19-20) shall be informed by detailed investigations by suitably experienced consultants, in accordance with Policy 5.4.3 of the 2013 DASH report. The works shall be documented and undertaken in accordance with Policies 5.4.3, 5.4.5, 5.4.9 and 5.4.10 of the 2013 DASH report, all to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment, Water and Natural Resources.

Reason for condition: To ensure that works included in the scope of the application but not yet developed and detailed are conceived and designed in accordance with recommended conservation policies for retention of cultural significance, based on advice from suitably experienced heritage consultants.

5. External and internal adaptive works as outlined in the 2013 Woodhead report (pp 18-19 and 21-23) shall be documented in detail to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment, Water and Natural Resources. The works shall documented and undertaken in accordance the relevant policies set out in section 5.4 of the 2013 DASH report, and shall be informed by further specific conservation management advice in accordance with the 2013 DASH report.

Reason for condition: To ensure that works included in the scope of the application but not yet developed and detailed are conceived and designed in accordance with recommended conservation policies for retention of cultural significance, based on advice from suitably experienced heritage consultants.

6. The introduction of building services into the historic building as outlined in the 2013 Woodhead report (p24) shall be in accordance with Policy 5.4.11 of the 2013 DASH report. The works shall be designed and documented to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment, Water and Natural Resources.

Reason for condition: To ensure that works included in the scope of the application but not yet developed and detailed are conceived and designed in accordance with recommended conservation policies for retention of cultural significance, based on advice from suitably experienced heritage consultants.

7. A dilapidation survey recording the condition of the three State heritage listed buildings at 201-207 North Terrace shall be prepared prior to the commencement of the works, to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment and Natural Resources. The structural condition of the fabric of each listed building shall be monitored during the course of ground works and construction to identify any adverse impacts. Immediate action shall be taken to identify and address any structural distress that becomes evident during the ground works and construction stages.

Reason for condition: To protect the physical integrity of the State heritage places. To ensure that any adverse impacts are identified promptly, so that appropriate remedial measures can be implemented.

8. During the ground works and construction stages, the short term vibration levels at the heritage-listed structures shall be monitored, and shall not exceed the velocity limits for structural vibration in buildings established for Group 3 structures in the German Standard DIN 4150 Part 3.

Reason for condition: To protect the heritage-listed structures from structural movement due to the proximity of new construction.

9. A site induction of all contractors and staff undertaking the works shall be undertaken and shall include information about the heritage significance and listing of the three State heritage places. The site induction should highlight good heritage practice and what to do if works vary from the approval. The site induction shall be prepared by a suitably experienced heritage consultant. A generic site induction is attached for reference.

Reason for condition: To ensure all persons working on the project are aware of the heritage significance of State heritage places.

10. The detail of the alterations to the main entrance shall be resolved and documented to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment, Water and Natural Resources.

Reason for condition: The new panel over the repositioned doors may be more appropriate as a second glazed fanlight rather than replicating the timber detailing of the doors. It is desirable for the removed steps to be interpreted in some way, such as retaining their silhouette at each end. Further consideration of these matters is required to facilitate appropriate detail solutions.

11. The design of the vehicle gates in the North Terrace facade shall be resolved and documented to the satisfaction of the the State Commission Assessment Panel in consultation with the Department of Environment, Water and Natural Resources.
Reason for condition: The concept to graphically interpret the lost fabric to this opening requires further design development to ensure a satisfactory outcome.
12. The strategies recommended in the traffic report by Phil Weaver, dated 29 November 2013 and the supplementary information in the letter dated 14 May 2014, forming part of this consent shall be undertaken within the Development to the reasonable satisfaction of the the State Commission Assessment Panel. Such measures shall be made operational prior to the occupation or use of the Development.
13. The acoustic attenuation measures recommended in the Resonate report, ref A13221RP1, Rev 0, dated 5 August 2013, forming part of this consent shall be undertaken within the Development to the reasonable satisfaction of the the State Commission Assessment Panel. Such acoustic measures shall be made operational prior to the occupation or use of the Development.
14. External materials, surface finishes and colours of the Development shall be consistent with the final details provided and approved by the State Commission Assessment Panel.
15. Mechanical plant or equipment, shall be designed, sited and screened to minimise noise impact on adjacent premises or properties. The noise level associated with the combined operation of plant and equipment such as air conditioning, ventilation and refrigeration systems when assessed at the nearest existing or envisaged noise sensitive location in or adjacent to the site shall not exceed:
 - 55 dB(A) during daytime (7.00am to 10.00pm) and 45 dB(A) during night time (10.00pm to 7.00am) when measured and adjusted in accordance with the relevant environmental noise legislation except where it can be demonstrated that a high background noise exists.
 - 50 dB(A) during daytime (7.00am to 10.00pm) and 40 dB(A) during night time (10.00pm to 7.00am) in or adjacent to a Residential Zone, the North Adelaide Historic (Conservation) Zone or the Park Lands Zone when measured and adjusted in accordance with the relevant environmental noise legislation except where it can be demonstrated that a high background noise exists.
16. A Construction Environment Management Plan (CEMP) shall be prepared and implemented in accordance with current industry standards – including the EPA publication “Environmental Management of On-site Remediation” - to minimise environmental harm and disturbance during construction. The management plan must incorporate, without being limited to, the following matters:
 - air quality, including odour and dust;
 - surface water including erosion and sediment control soils, including fill importation, stockpile management and prevention of soil contamination;

- groundwater, including prevention of groundwater contamination;
- noise; and
- occupational health and safety.

For further information relating to what Site Contamination is, refer to the EPA Guideline: *'Site Contamination – what is site contamination?'*: www.epa.sa.gov.au/pdfs/guide_sc_what.pdf

A copy of the CEMP shall be provided to the Adelaide City Council prior to the commencement of site works.

17. A lighting Plan and details of the location of internal CCTV cameras shall be submitted to the Adelaide City Council, prior to occupation of the building.
18. All modifications required to Adelaide City Council's public lighting and associated infrastructure shall meet Councils' requirements and all costs associated with these works will be borne directly by the developer.
19. The connection of any storm water discharge from the Land to any part of the Adelaide City Council's underground drainage system shall be undertaken in accordance with the Council Policy entitled 'Adelaide City Council Storm Water Requirements' and be to the reasonable satisfaction of the Adelaide City Council, with the following taken into account:
 - Collected water from any proposed surface drainage systems located in the basement car park shall be discharged to sewer; and
 - Use of existing property stormwater connections in the North Terrace footpaths should be considered prior to the design of new stormwater connections to Councils stormwater management infrastructure.
20. The proposed car parking layout shall be designed and constructed to conform to the *Australian Standard 2890.1:2004* (including clearance to columns and space requirements at the end of blind aisles) *for Off-Street Parking Facilities*; *Australian Standard 2890.6-2009 Parking facilities – Off street commercial vehicle facilities* and designed to conform with *Australian Standard 2890.6:2009 for Off Street Parking for people with disabilities*.
21. The on-site Bicycle Parking facilities shall be designed in accordance with Australian Standard 2890.3-1993 and the AUSTROADS, Guide to Traffic Engineering Practice Part 14 – Bicycles.
22. Council maintained infrastructure that is removed or damaged during construction works shall be reinstated to Council specifications. All costs associated with these works shall be met by the proponent.
23. Prior to the commencement of construction a dilapidation report (i.e. condition survey) shall be prepared by a qualified engineer to ensure the stability and protection of adjoining buildings, structures and Council assets. A copy of this report shall be provided to the Adelaide City Council.
 - During construction, all materials and goods shall be loaded and unloaded within the boundaries of the subject land.
 - The development and the site shall be maintained in a serviceable condition and operated in an orderly and tidy manner at all times.
 - All trade waste and other rubbish shall be stored in covered containers prior to removal and shall be kept screened from public view.

Advisory Notes:

- a) The proponent may need to obtain approval under the regulations for any equipment or cranes to be used on site that will intrude into prescribed airspace before entering into a commitment to construct any building at the site.
- b) Proposed landscaping treatment of the forecourt (refer Table 1 item 2 on p8 & p12 of the 2013 Woodhead report) is understood to be beyond the scope of the current application. Early consultation with the DEWNR State Heritage Unit is encouraged at the conceptual stage of any such proposal.
- c) Any changes to the proposal may give rise to heritage impacts requiring further consultation with the Department for Environment and Natural Resources, or an additional referral to the Minister for Planning. Such changes would include for example a) an application to vary the planning consent, or b) Building Rules documentation that differs from the planning documentation.
- d) You are advised of the following requirements of the *Heritage Places Act 1993*:
 - (i) If an archaeological artefact believed to be of heritage significance is encountered during excavation works, disturbance in the vicinity shall cease and the SA Heritage Council shall be notified.
 - (ii) Where it is known in advance (or there is reasonable cause to suspect) that significant archaeological artefacts may be encountered, a permit is required prior to commencing excavation works.

For further information, contact the Department of Environment, Water and Natural Resources.

- e) You are advised of the following requirements of the *Aboriginal Heritage Act 1988*:
 - (i) If Aboriginal sites, objects or remains are discovered during excavation works, the Aboriginal Heritage Branch of the Aboriginal Affairs and Reconciliation Division of the Department of the Premier and Cabinet (as delegate of the Minister) should be notified under Section 20 of the *Aboriginal Heritage Act 1988*.
- f) The approval does not include any signage (other than directional), which would need to be the subject of a separate application to the relevant planning authority.
- g) The applicant is reminded of its general environmental duty, as required by Section 25 of the *Environment Protection Act 1993*, to take all reasonable and practical measures to ensure that the activities on the whole site, including during construction, do not pollute the environment in a way which causes or may cause environmental harm.
- h) Any information sheets, guidelines documents, codes of practice, technical bulletins etc. that are referenced in this response can be accessed on the following web site:
<http://www.epa.sa.gov.au/pub.html>

- i) The applicant must ensure there is no objection from any of the public utilities in respect of underground or overhead services and any alterations that may be required are to be at the applicant's expense.
- j) As work is being undertaken on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- k) If temporary hoarding or site works require modification of existing Council infrastructure, the works will be carried out to meet Councils requirements and costs borne directly by the developer.
- l) All damage to Adelaide City Council's infrastructure, including damage to public lighting and underground ducting caused by projects works or loading of site crane onto pathways will be repaired to meet Councils requirements and the cost of the developer.
- m) A Building Site Management Plan is required prior to construction work beginning on site. The Building Site Management Plan should include details of such items as:
 - Work in the Public Realm;
 - Street Occupation;
 - Hoarding;
 - Site Amenities;
 - Traffic Requirements;
 - Servicing Site;
 - Adjoining Buildings;
 - Reinstatement of Infrastructure
- n) Insecure building sites have been identified as a soft target for vandalism and theft of general building materials. The Adelaide Local Service Area Police and the Adelaide City Council are working together to help improve security at building sites. Items most commonly stolen or damaged are tools, water heaters and white goods. To minimise the risk of theft and damage, consider co-ordinating the delivery and installation of the goods on the same day.

Work with your builder to secure the site with a fence and lockable gate. Securing the site is essential to prevent unauthorised vehicle access and establishes clear ownership.

If you have any further enquiries about ways to reduce building site theft, please do not hesitate to contact the Adelaide Local Service Area Community Programs Section on 8463 7024. Alternatively, you can contact Adelaide City Council for further assistance and information by calling Nick Nash on 8203 7562.

- o) Pursuant to Regulation 74, the Council must be given one business day's notice of the commencement and the completion of each stage of the building work on the site. To notify Council, contact City Services on 8203 7332.
- p) The emission of noise from the premises is subject to control under the Environment Protection Act and Regulations, 1993 and the applicant (or person with the benefit of this consent) should comply with those requirements.

24 August 2017

- q) The development must be substantially commenced within three (3) years of the date of the original Notification, unless this period has been extended by the State Commission Assessment Panel.
- r) You are also advised that any act or work authorised or required by this Notification must be completed within five (5) years of the date of the original Notification unless this period is extended by the Commission.
- s) You will require a fresh consent before commencing or continuing the development if you are unable to satisfy these requirements.
- t) You have a right of appeal against the conditions which have been imposed on this Development Plan Consent or Development Approval. Such an appeal must be lodged at the Environment, Resources and Development Court within two months of the day on which you receive this notice or such longer time as the Court may allow. Please contact the Court if you wish to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide (telephone number 8204 0300).



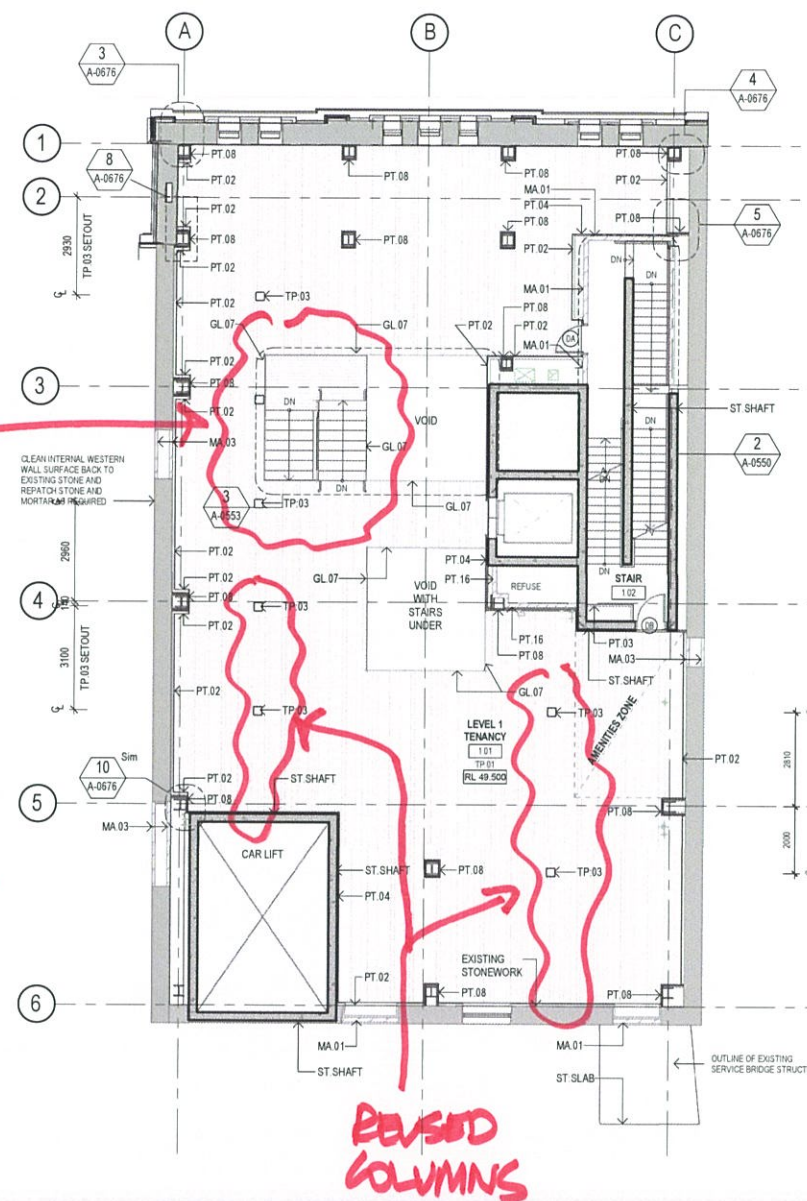
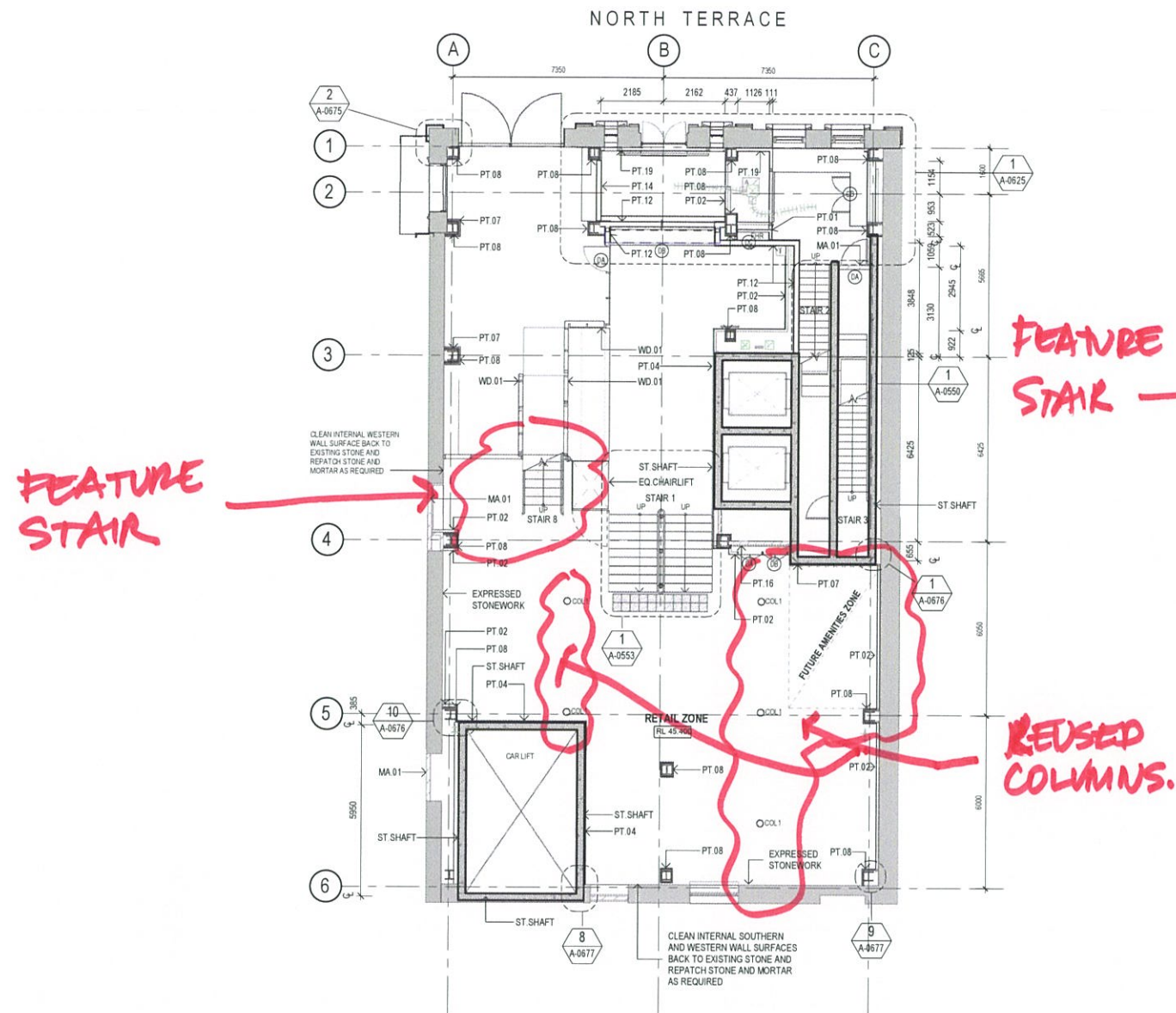
Ben Scholes
PROJECT OFFICER
PLANNING AND DEVELOPMENT DIVISION
DEPARTMENT OF PLANNING, TRANSPORT and INFRASTRUCTURE

ATTACHMENT 1

APPLICATION PLANS

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Key Plan



1 GROUND LEVEL PARTITIONS AND SETOUTS
A-0400 1:100

2 LEVEL 01 PARTITIONS AND SETOUTS
A-0400 1:100

LEGEND
COL1 EXISTING CAST IRON COLUMNS/CAPITALS REINSTATED
TP.03 EXISTING TIMBER COLUMNS/CAPITALS REINSTATED

REUSED COLUMNS.

VARIATION TO DA 020/0003/14A

PRELIMINARY

DRAWING SCALE CORRECT @ A1 SHEET SIZE

Issue	Revision Description	Date
Quantity Surveyor	COMPANY NAME Company Address	
Structural & Civil	COMPANY NAME Company Address	
Mechanical	COMPANY NAME Company Address	
Electrical	COMPANY NAME Company Address	
Hydraulic	COMPANY NAME Company Address	
Fire	COMPANY NAME Company Address	
BCA Consultant	COMPANY NAME Company Address	
Landscape Architect	COMPANY NAME Company Address	

Client

civil & allied technical construction
CATCON
Owner Address

Architects
GHDWOODHEAD

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Checked
Drawing Coordinated
Drawing Director Approval
Project Description

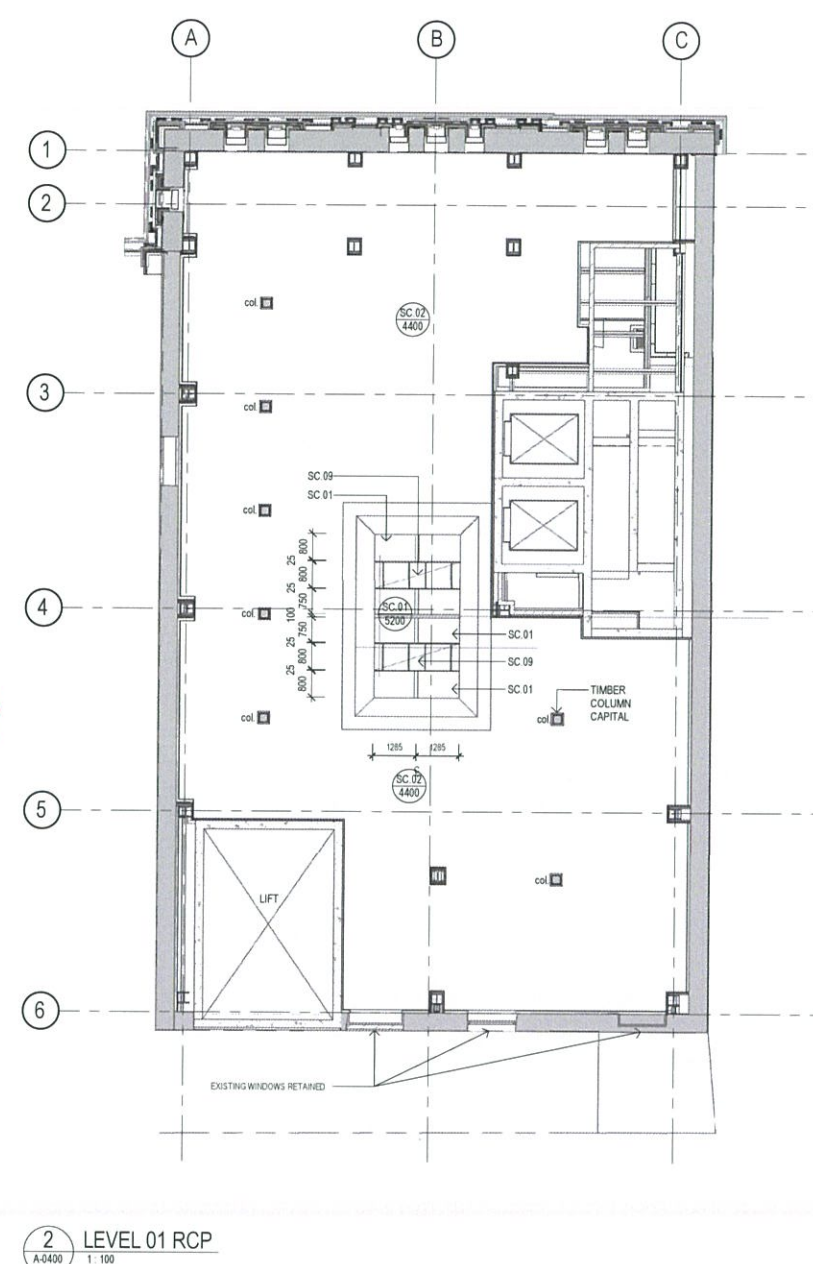
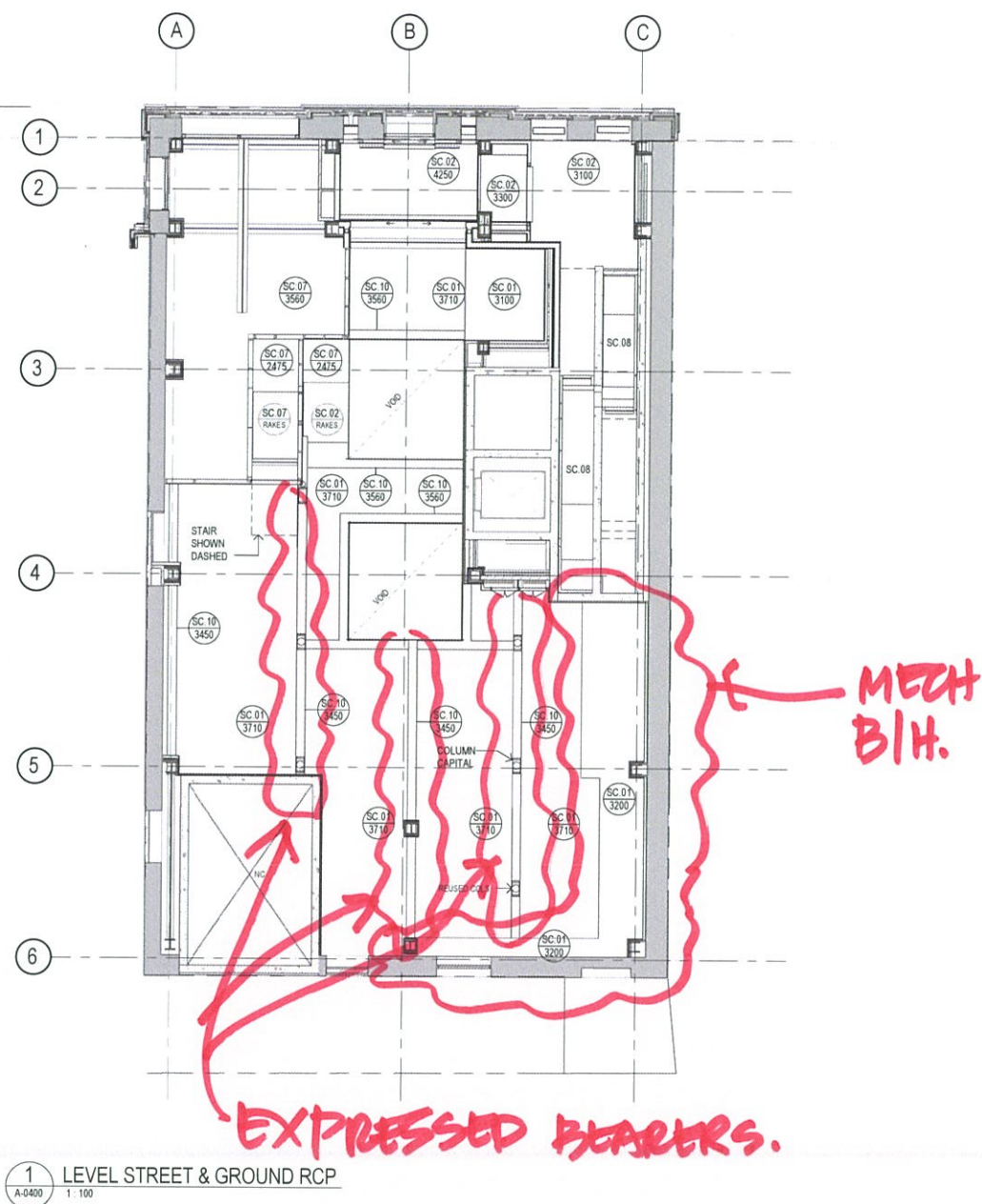
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Project Number 33-17640
Drawing Title GA PLAN - GROUND & LEVEL 01
Scale 1:100

Drawing Number Original Size Issue

33-17640 A-0102

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Quantity Surveyor	COMPANY NAME Company Address	
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Drawing Coordinated _____
Drawing Director Approval _____
Project Description _____

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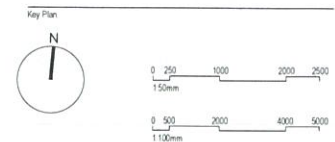
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Original Size _____
Issue _____

33-17640 A-0201

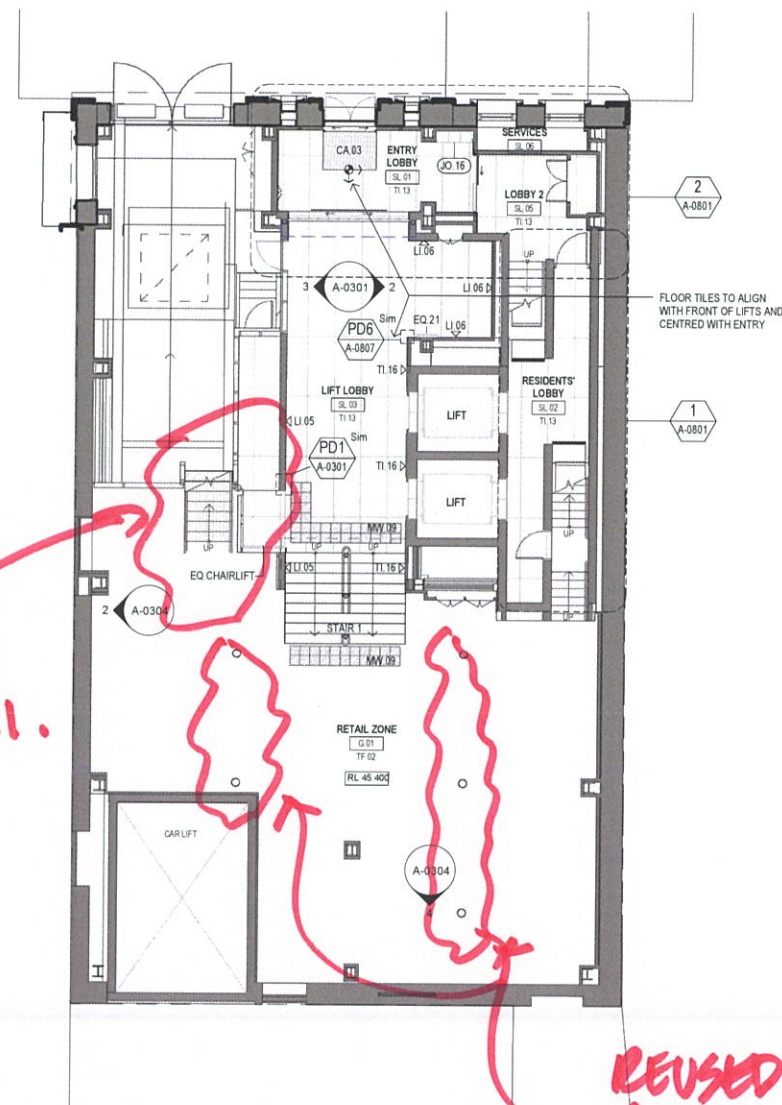
VARIATION TO DA 020/0003/14A

PRELIMINARY
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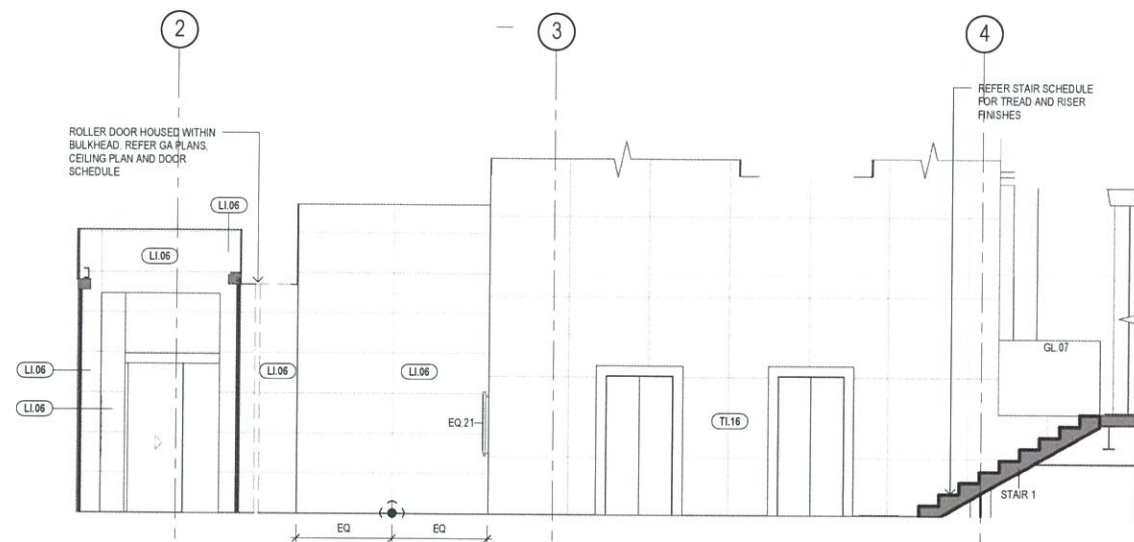
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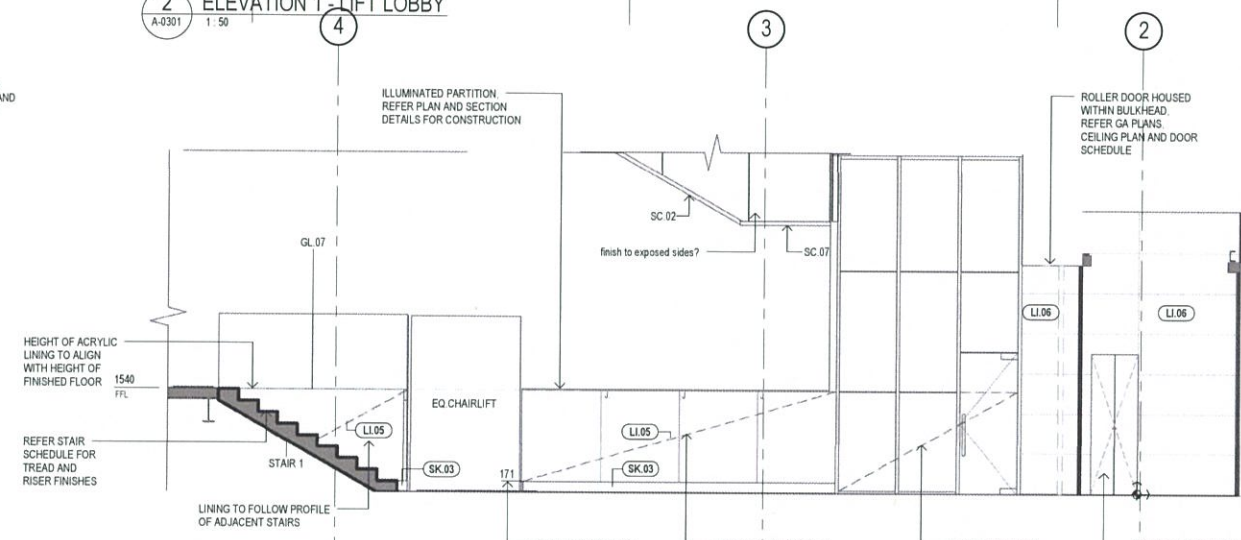
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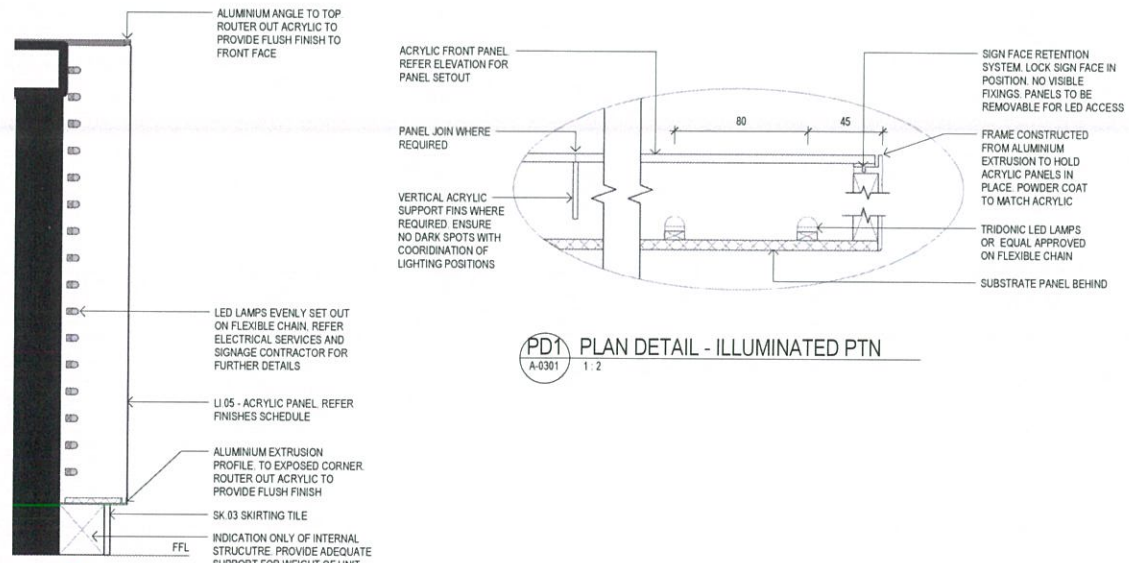
1 LEVELS STREET & GROUND FINISHES PLAN
A-0400 1:100



2 ELEVATION 1 - LIFT LOBBY
A-0301 1:50



3 ELEVATION 3 - LIFT LOBBY
A-0301 1:50



PD1 PLAN DETAIL - ILLUMINATED PTN
A-0301 1:2

INTERIOR WALL FINISHES LEGEND	
LI 01	GLASS SPLASHBACK
LI 02	MIRROR
LI 05	STONE WALL PANEL
SK 02	SKIRTING FLAT METAL
SK 03	SKIRTING TILE (LOBBY)
TI 06	WALL TILE
TI 07	FEATURE WALL TILE
TI 08	WALL TILE
TI 09	FEATURE WALL TILE
TI 10	WALL TILE
TI 11	TILE SPLASHBACK
TI 12	WALL TILE
TI 15	WALL TILE (OFFICES)
TI 16	ACRYLIC WALL LINING
TI 17	SKIRTING TILE (OFFICES)

FLOOR FINISHES LEGEND	
CA 01	CARPET (APARTMENTS)
CA 02	CARPET (OFFICES)
CA 03	ENTRY MAT
TF 01	TIMBER FLOOR (APARTMENTS)
TF 02	TIMBER FLOOR BOARDS
TI 01	FLOOR TILE
TI 02	FLOOR TILE
TI 03	FLOOR TILE
TI 04	FLOOR TILE
TI 13	FLOOR TILE (LOBBY)
TI 14	FLOOR TILE (OFFICES)

- FINISHES NOTES**
- TO BE READ IN CONJUNCTION WITH SCHEDULES AND THE TECHNICAL SPECIFICATION
 - ALL PLASTERBOARD PARTITIONS TO BE PAINTED PA 01 UNLESS INDICATED OTHERWISE
 - ALL PARTITION LININGS TO BE PAINTED PLASTERBOARD UNLESS CODED OTHERWISE REFER PARTITION SCHEDULE FOR GENERAL LININGS AND FINISHES SCHEDULE FOR ALL APPLIED LININGS
 - REFER TO INTERNAL ELEVATIONS FOR ADDITIONAL APPLIED FINISHES AND LININGS
 - ALL INTERNAL TIMBER DOOR LEAVES TO BE PAINTED PA xx UNLESS INDICATED OTHERWISE
 - ALL INTERNAL STEEL DOOR FRAMES TO BE PAINTED PA xx UNLESS INDICATED OTHERWISE
 - ENSURE IMPERVIOUS JUNCTION BETWEEN EACH FLOOR FINISH SCREED WHERE REQUIRED TO ACHIEVE FLUSH FINISH AS DETAILED
 - REFER TYPICAL FINISHES DETAILS FOR ALL TYPICAL JUNCTION DETAILS
 - TI xx SKIRTING TILE TO BE USED ON ALL WET AREA PARTITIONS WHERE NO FULL HEIGHT TILING IS INDICATED (UNLESS NOTED OTHERWISE)
 - NO SKIRTING TO BLOCKWORK WALLS OR PRECAST WALLS (UNLESS NOTED OTHERWISE)
 - REFER TO CEILING PLANS FOR FINISHED CEILING HEIGHTS
 - READ IN CONJUNCTION WITH JOINERY DRAWINGS

- CODING REFERENCE**
- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE SCHEDULES TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS
 - REFER TO THE SCHEDULES FOR DETAILS OF ALL INTERIOR CODED ELEMENTS SHOWN ON THE DRAWINGS
 - THE SCHEDULE DESCRIBES IN DETAIL FINISHES, MATERIALS, FIXINGS AND COMPONENT ASSEMBLIES
 - WHERE IT IS NECESSARY TO MAKE REFERENCE TO ENGINEERING SERVICES DISCIPLINES DRAWINGS IN ARCHITECTURAL AND INTERIORS DOCUMENTATION, THE FOLLOWING CODES ARE USED TO INDICATE ONLY THE DISCIPLINE AND THE ELEMENT.
- ST: STRUCTURAL STEELWORK
CO: STRUCTURAL CONCRETE WORK
EL: ELECTRICAL ENGINEERING
FE: FIRE ENGINEERING
HY: HYDRAULIC ENGINEERING
ME: MECHANICAL ENGINEERING
CW: CIVIL WORKS ENGINEERING

Issue Revision Description Date

Quantity Surveyor COMPANY NAME
Company Address

Structural & Civil COMPANY NAME
Company Address

Mechanical COMPANY NAME
Company Address

Electrical COMPANY NAME
Company Address

Hydraulic COMPANY NAME
Company Address

Pipe COMPANY NAME
Company Address

BGA Consultant COMPANY NAME
Company Address

Landscape Architect COMPANY NAME
Company Address

Client

catcon
civil & allied technical construction
CATCON
Owner Address

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E admin@ghd.com W www.ghd.com

Checked: _____
Drawing Coordinated: _____
Drawing Director Approval: _____
Project Description: 203 NORTH TERRACE
Enter address here

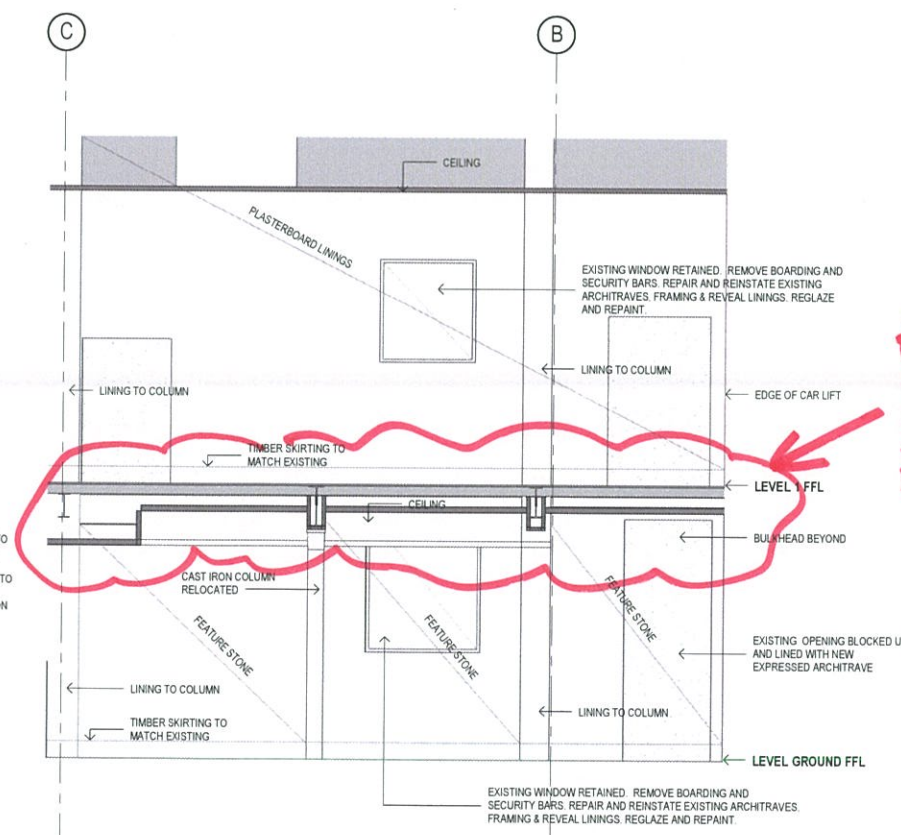
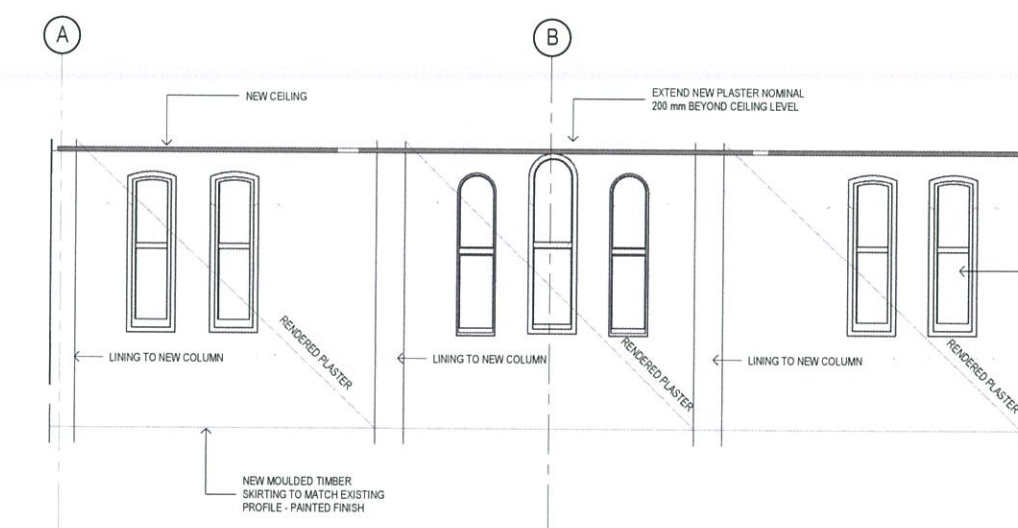
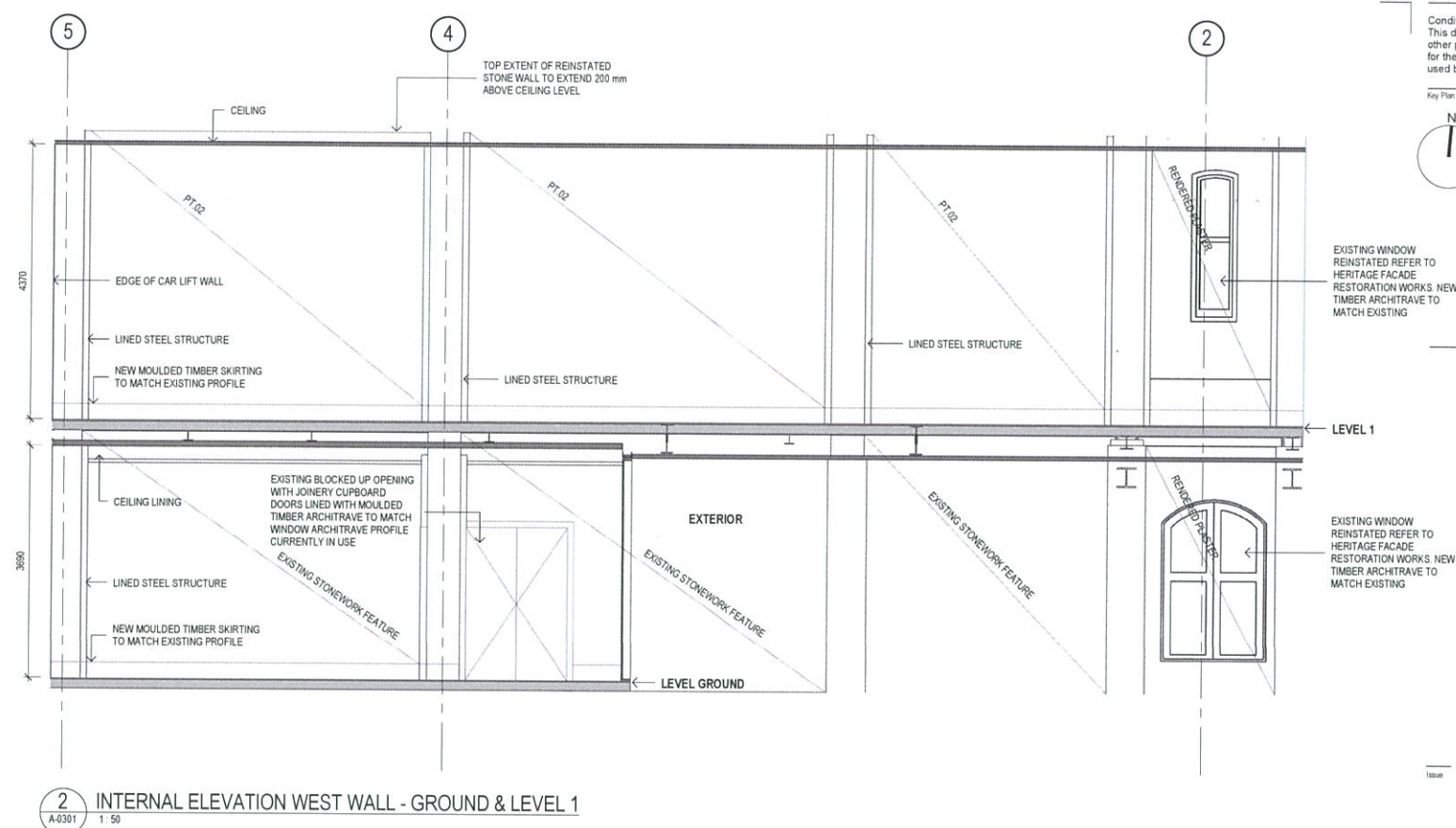
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Drawing Title: FINISHES PLAN & ELEVATIONS - As indicated
LEVELS STREET & GROUND Original Size
Drawing Number: _____ Issue: _____

33-17640 A-0301

PRELIMINARY

DRAWING SCALE CORRECT @ A1 SHEET SIZE

VARIATION TO DA 020/0003/14A



EXPRESSED
BEARERS
PROFILE

VARIATION TO DA 020/0003/14A

PRELIMINARY
DRAWING SCALE CORRECT @ A1 SHEET SIZE

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Key Plan



EXISTING WINDOW
REINSTATE REFER TO
HERITAGE FACADE
RESTORATION WORKS. NEW
TIMBER ARCHITRAVE TO
MATCH EXISTING

EXISTING WINDOW
REINSTATE REFER TO
HERITAGE FACADE
RESTORATION WORKS. NEW
TIMBER ARCHITRAVE TO
MATCH EXISTING

Issue Revision Description Date

Quantity Surveyor
COMPANY NAME
Company Address

Structural & Civil
COMPANY NAME
Company Address

Mechanical
COMPANY NAME
Company Address

Electrical
COMPANY NAME
Company Address

Hydraulic
COMPANY NAME
Company Address

Fire
COMPANY NAME
Company Address

BCA Consultant
COMPANY NAME
Company Address

Landscape Architect
COMPANY NAME
Company Address

Client

catcon
civil & allied technical construction
CATCON
Owner Address

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Drawing Coordinated
Drawing Director Approval
Project Description

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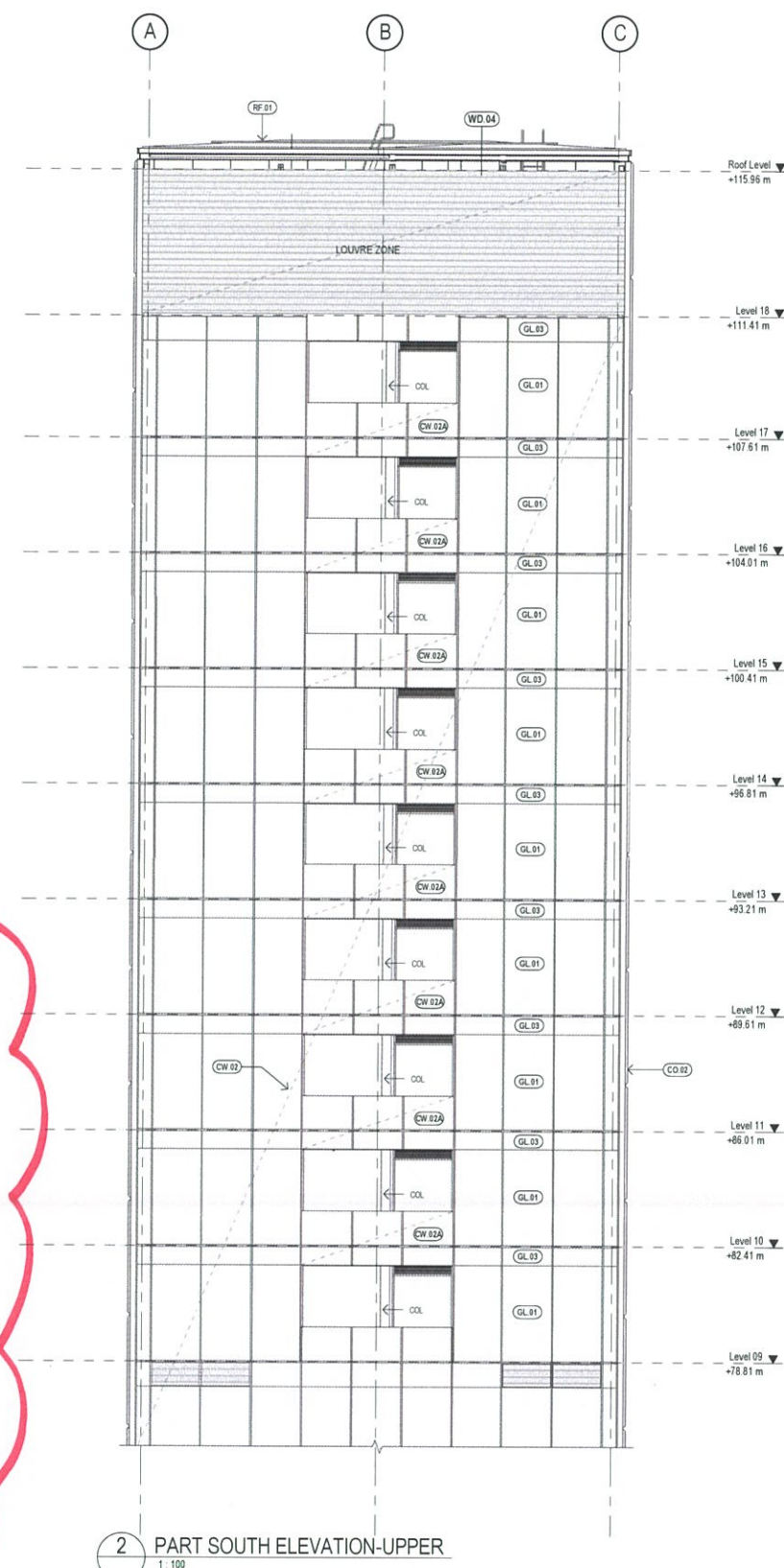
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GROUND & LEVEL 1
Drawing Number
Scale
As indicated
Original Size
Issue

33-17640 A-0304

Key Plan.



VARIATION TO DA 020/0003/14A



Issue	Revision Description	Date
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Quantity Surveyor

COMPANY NAME

Company Address

COMPANY NAME
Company Address

COMPANY NAME

Electrical

COMPANY NAME

Company Address

Hydraulic

COMPANY NAME

Company Address:

Free

COMPANY NAME

BCA Consultant

COMPANY NAME

Company Address

COMPANY NAME

Client _____

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Checked	Checker
Drawing Coordinated	
Drawing Director Approval	
Project Description	

203 NORTH TERRACE
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Project Number	33-17640	
Drawing Title	PART ELEVATION SOUTH 1-100	Scale 1 : 100

Original Size	
Drawing Number	Issue

33-17640 A-0403

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Issue Revision Description Date

Quantity Surveyor
COMPANY NAME
Company Address

Structural & Civil
COMPANY NAME
Company Address

Mechanical
COMPANY NAME
Company Address

Electrical
COMPANY NAME
Company Address

Hydraulic
COMPANY NAME
Company Address

Fire
COMPANY NAME
Company Address

BCA Consultant
COMPANY NAME
Company Address

Landscape Architect
COMPANY NAME
Company Address

Client
COMPANY NAME
Company Address


civil & allied technical construction
CATCON
Owner Address

Architects
GHDWOODHEAD

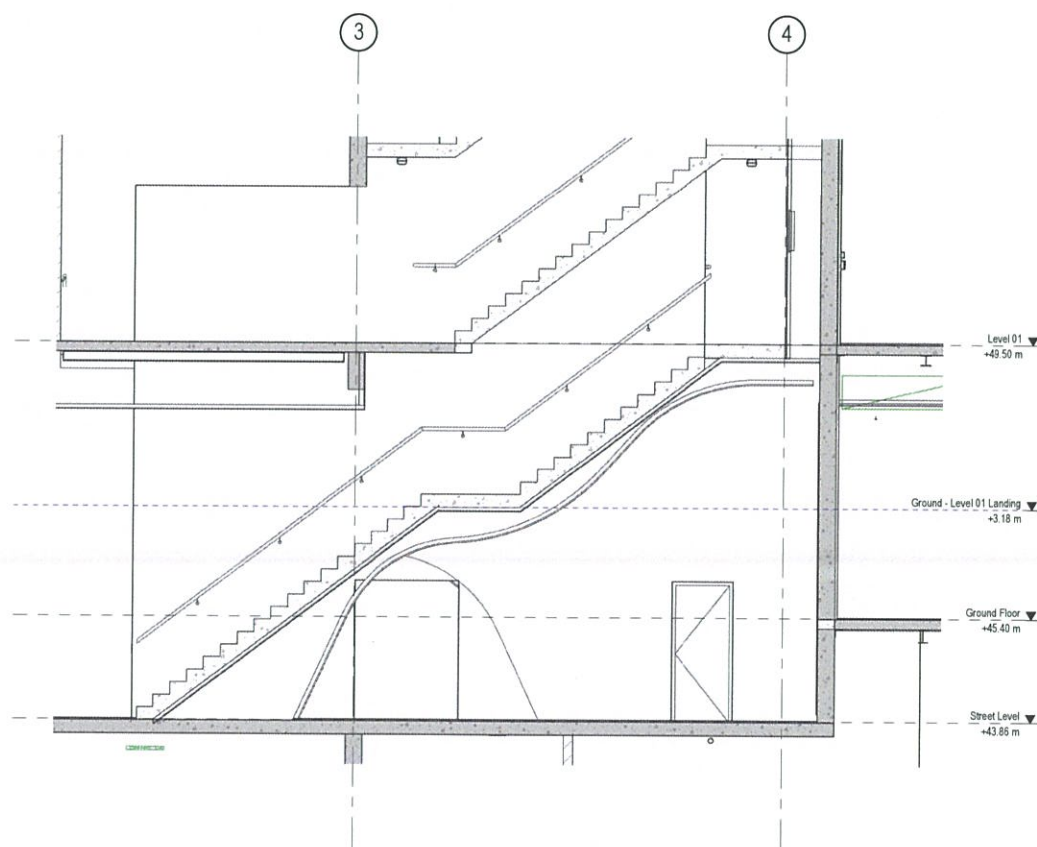
Level 4, 211 Victoria Square Adelaide SA 5000 Australia
GPO Box 2052 Adelaide SA 5001
T 81 811 11 6600 F 81 811 11 6699
E adl@mail@ghd.com W www.ghd.com

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Drawing Coordinated _____
Drawing Director Approval _____
Project Description _____

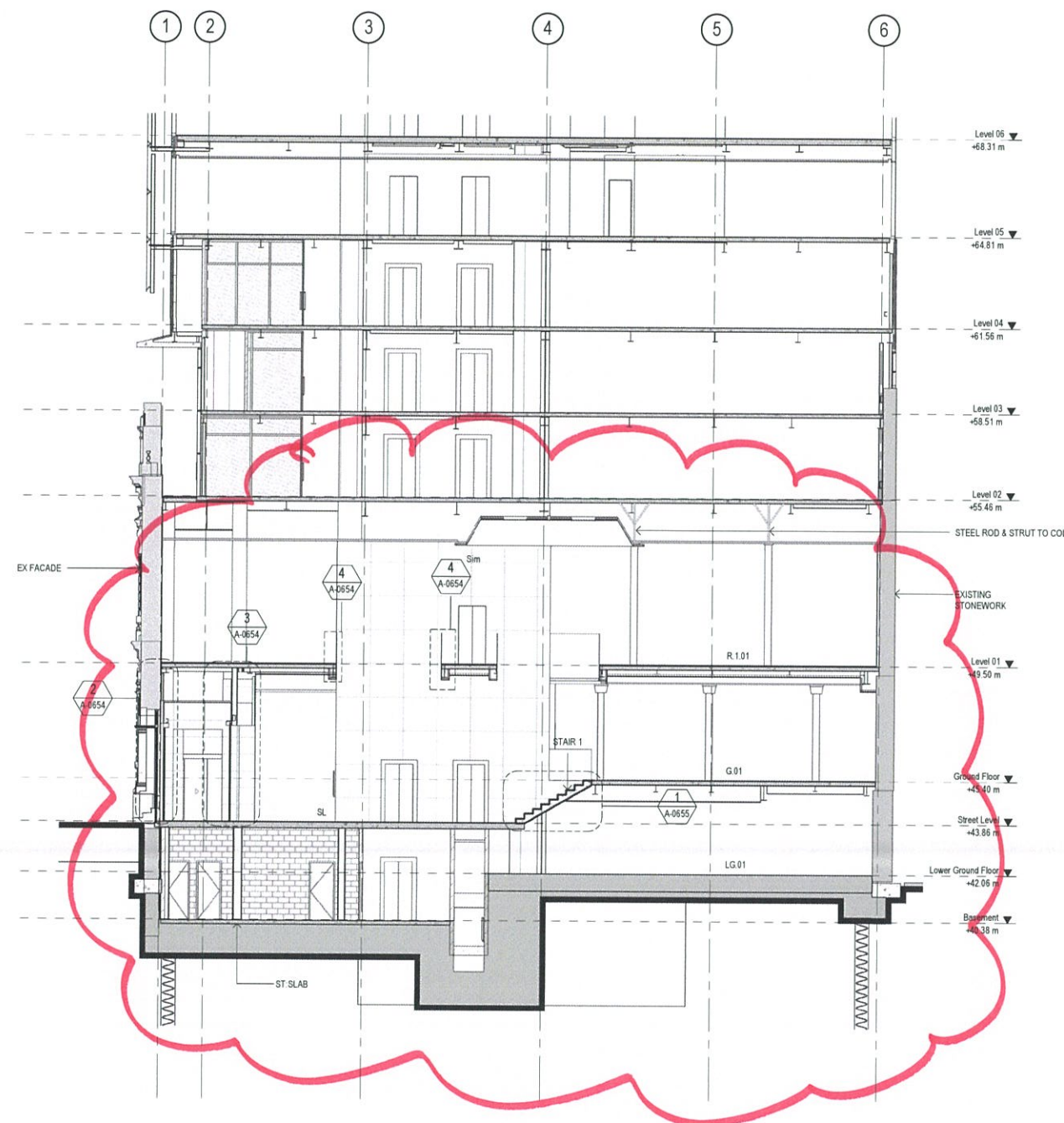
203 NORTH TERRACE
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Original Size
Drawing Number _____ Issue _____

33-17640 A-0460



1 SECTION RESIDENTS LOBBY
A-0450 1:50



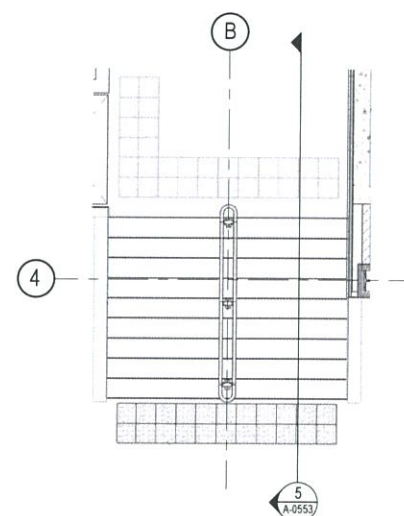
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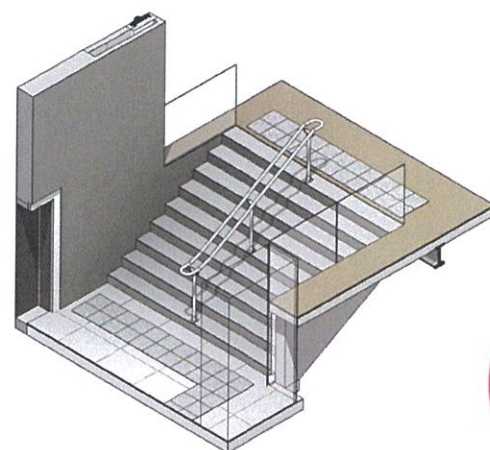
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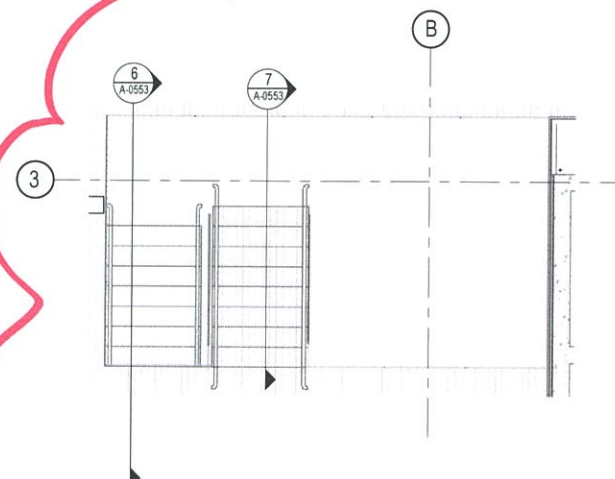
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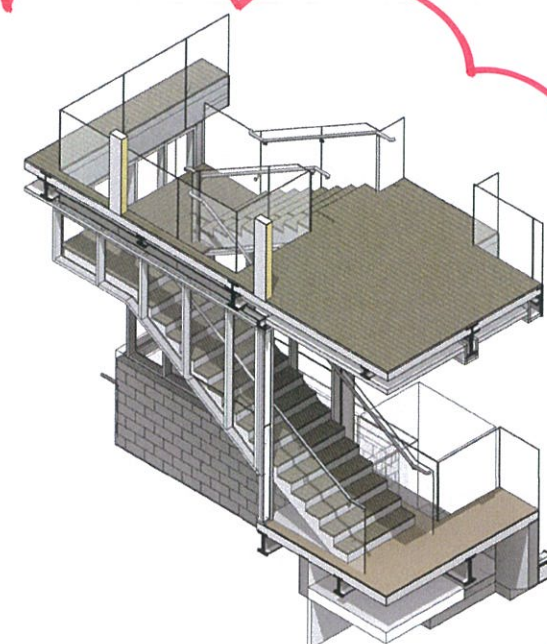
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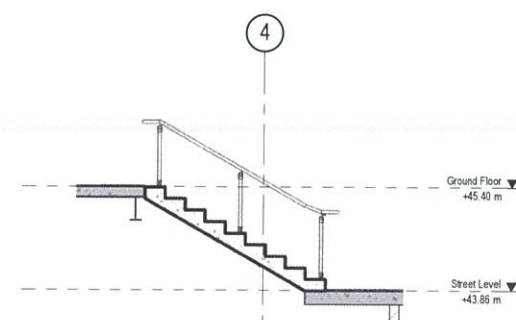
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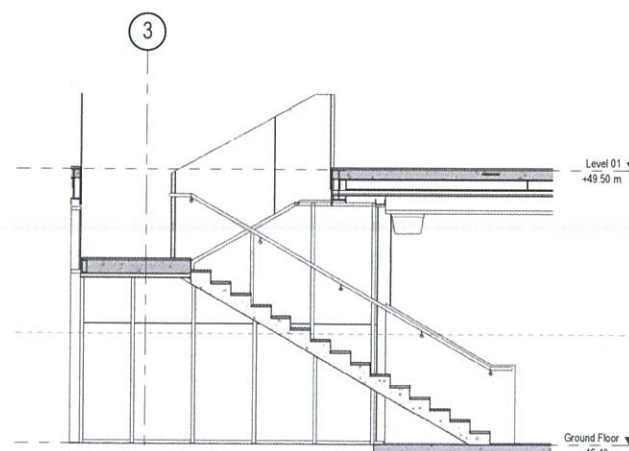
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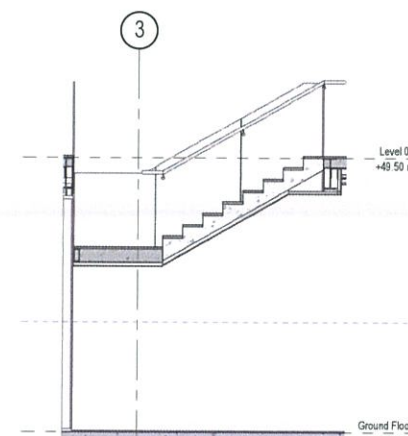
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5 STAIR 1 - SECTION
A-0553 1:50



6 STAIR 8 - SECTION
A-0552 1:50



7 STAIR 8 - SECTION 2
A-0552 1:50

Issue Revision Description Date

Quantity Surveyor
COMPANY NAME
Company Address

Structural & Civil
COMPANY NAME
Company Address

Mechanical
COMPANY NAME
Company Address

Electrical
COMPANY NAME
Company Address

Hydraulic
COMPANY NAME
Company Address

Fire
COMPANY NAME
Company Address

BCA Consultant
COMPANY NAME
Company Address

Landscape Architect
COMPANY NAME
Company Address

Client

 **catcon**
civil & allied technical construction
CATCON
Owner Address

Architects
GHDWOODHEAD

Level 4, 211 Victoria Square Adelaide SA 5000 Australia
GPO Box 2052 Adelaide SA 5001
T 61 8 8111 6600 F 61 8 8111 6699
E adlmail@ghd.com W www.ghd.com

Checked _____ Checker _____
Drawing Coordinated _____
Drawing Director Approval _____
Project Description

203 NORTH TERRACE
Enter address here

Project Number 33-17640

Drawing Title Scale

STAIR DETAILS - SHEET 4 1:50

Original Size Issue

Drawing Number Issue

33-17640 A-0553

PRELIMINARY

DRAWING SCALE CORRECT @ A1 SHEET SIZE

VARIATION TO DA 020/0003/14A

Key Plan



A-0460

A-0604

A-0460

A-0460

A-0603

A-0604

A-0461

A0461

A-0461

DRAWING SCALE CORRECT @ A1 SHEET SIZE

Architects

GHDWOODHEAD

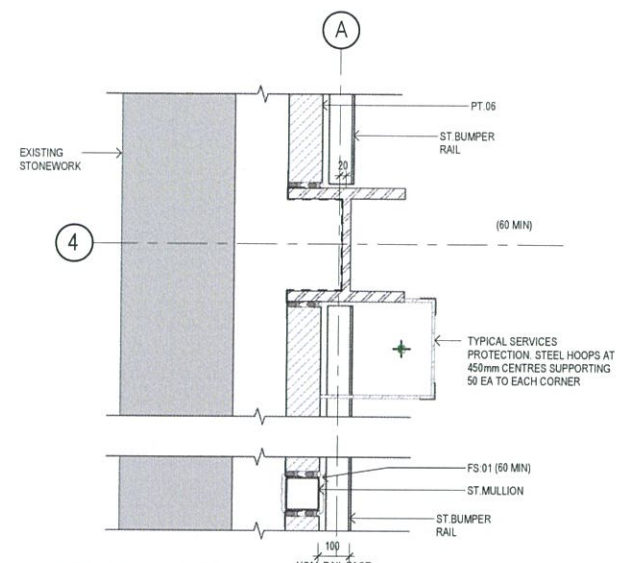
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Drawing Coordinated	
Drawing Director Approval	
Project Description	

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Drawing Title		Scale
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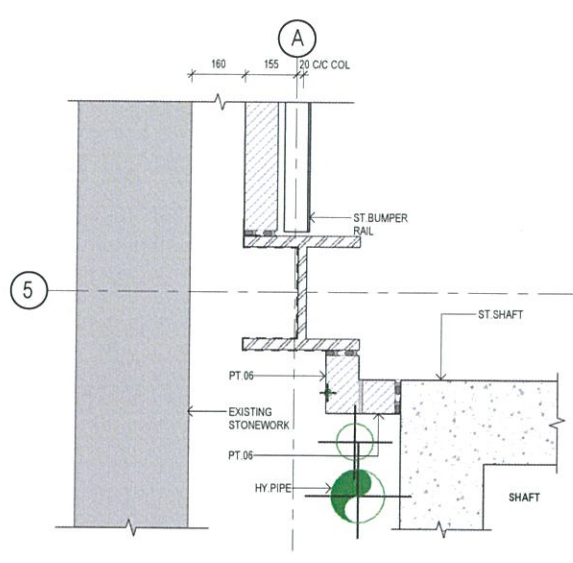
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33-17640 A-0654

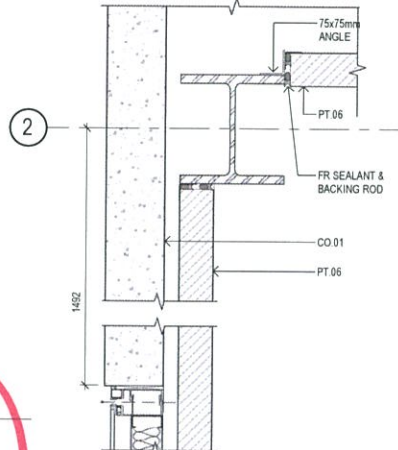
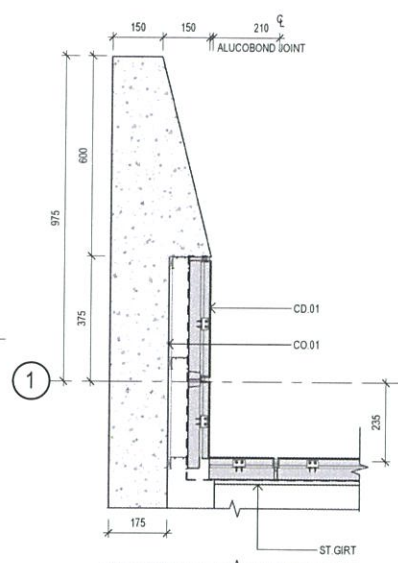
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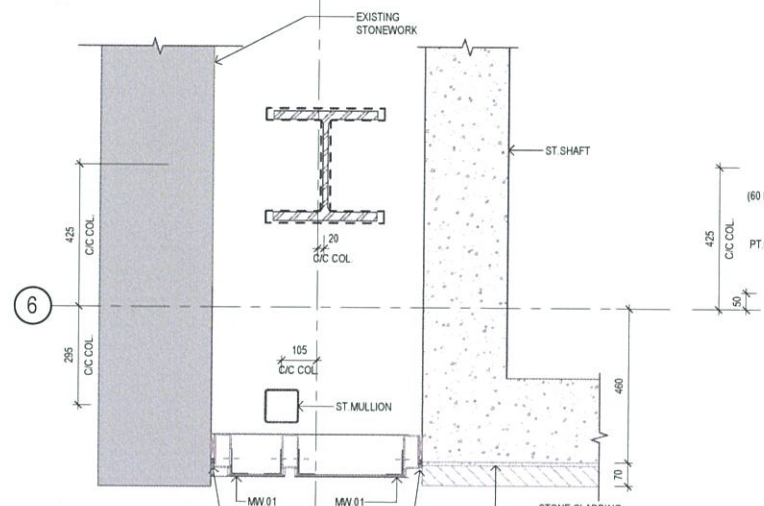
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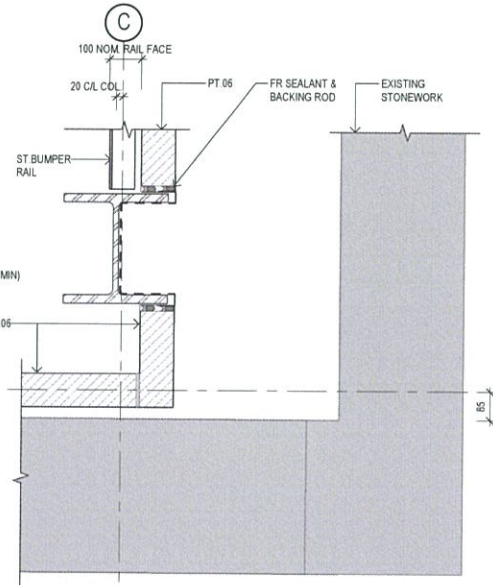
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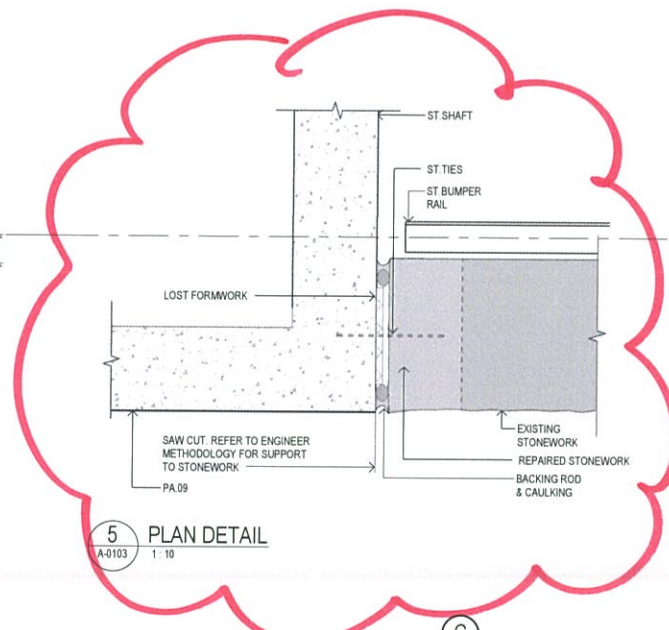
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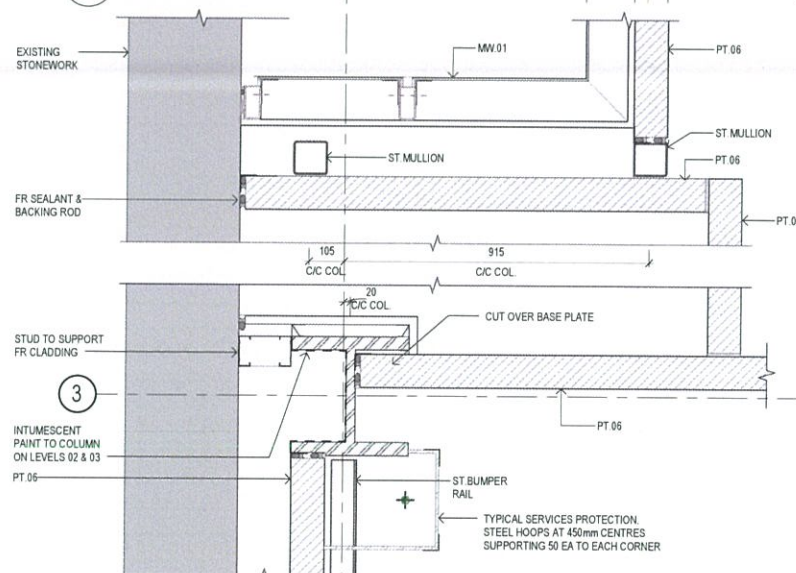
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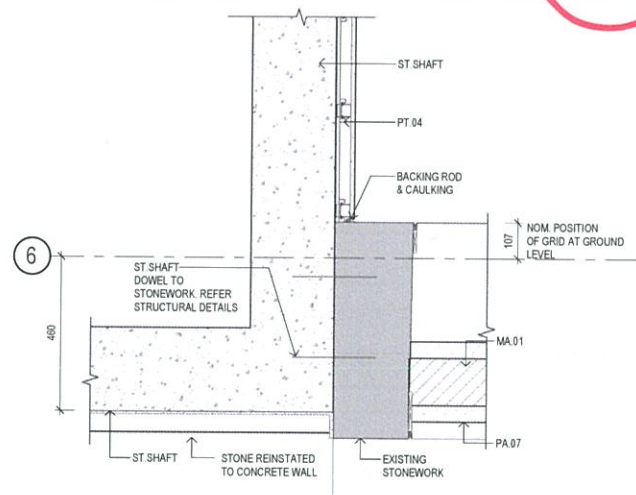
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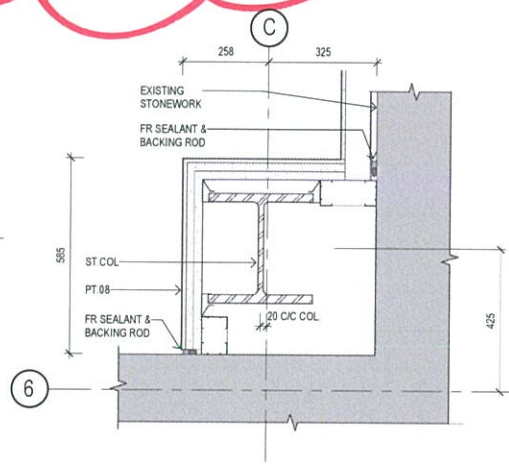
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7 PLAN DETAIL
A-0103 1:10



6 PLAN DETAIL
A-0102 1:10



9 PLAN DETAIL
A-0102 1:10

VARIATION TO DA 020/0003/14 A

PRELIMINARY
DRAWING SCALE CORRECT @ A1 SHEET SIZE

Issue	Revision Description	Date
Quantity Surveyor	COMPANY NAME Company Address	
Structural & Civil	COMPANY NAME Company Address	
Mechanical	COMPANY NAME Company Address	
Electrical	COMPANY NAME Company Address	
Hydraulic	COMPANY NAME Company Address	
Fire	COMPANY NAME Company Address	
BCA Consultant	COMPANY NAME Company Address	
Landscape Architect	COMPANY NAME Company Address	

Client
catcon
civil & allied technical construction
CATCON
Owner Address

Architects
GHDWOODHEAD

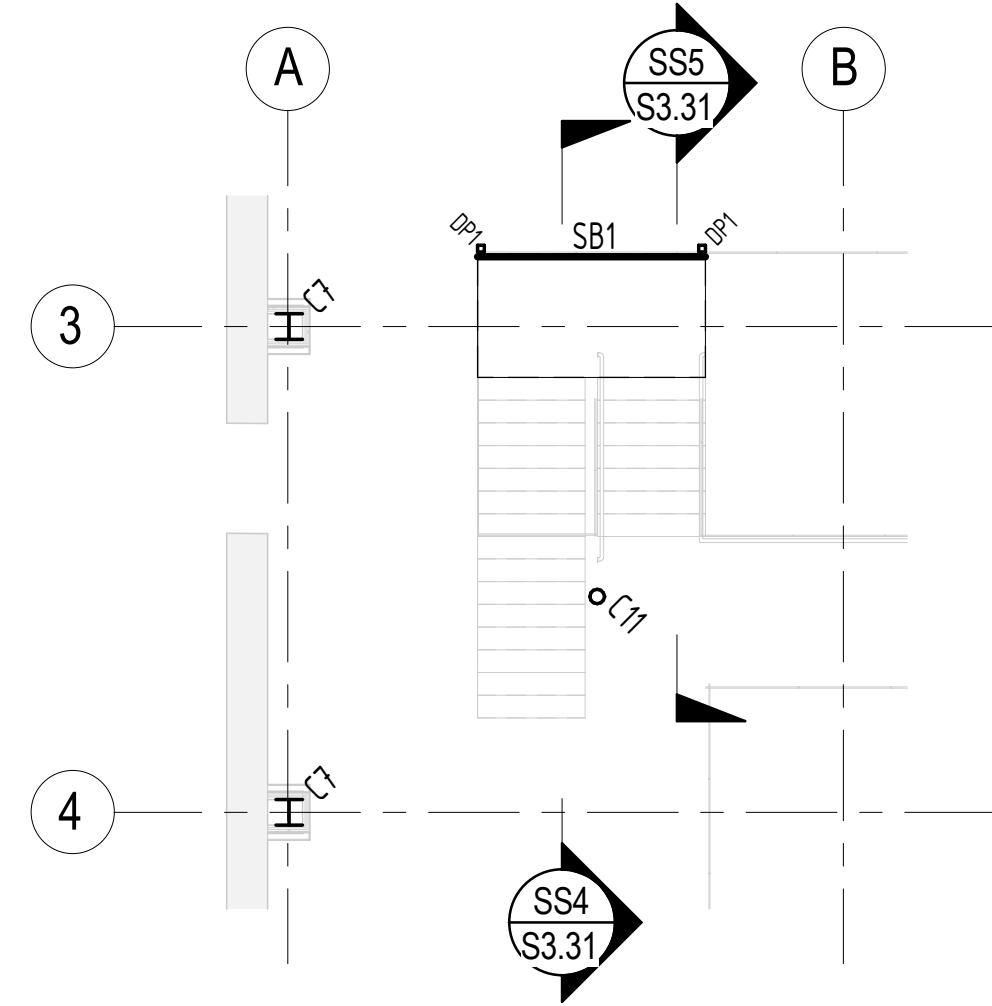
Level 4, 211 Victoria Square Adelaide SA 5000 Australia
GPO Box 2052 Adelaide SA 5001
T 61 8 8111 6600 F 61 8 8111 6699
E admail@ghd.com W www.ghd.com

Checked _____ Checker _____
Drawing Coordinated _____
Drawing Director Approval _____
Project Description

203 NORTH TERRACE
Enter address here

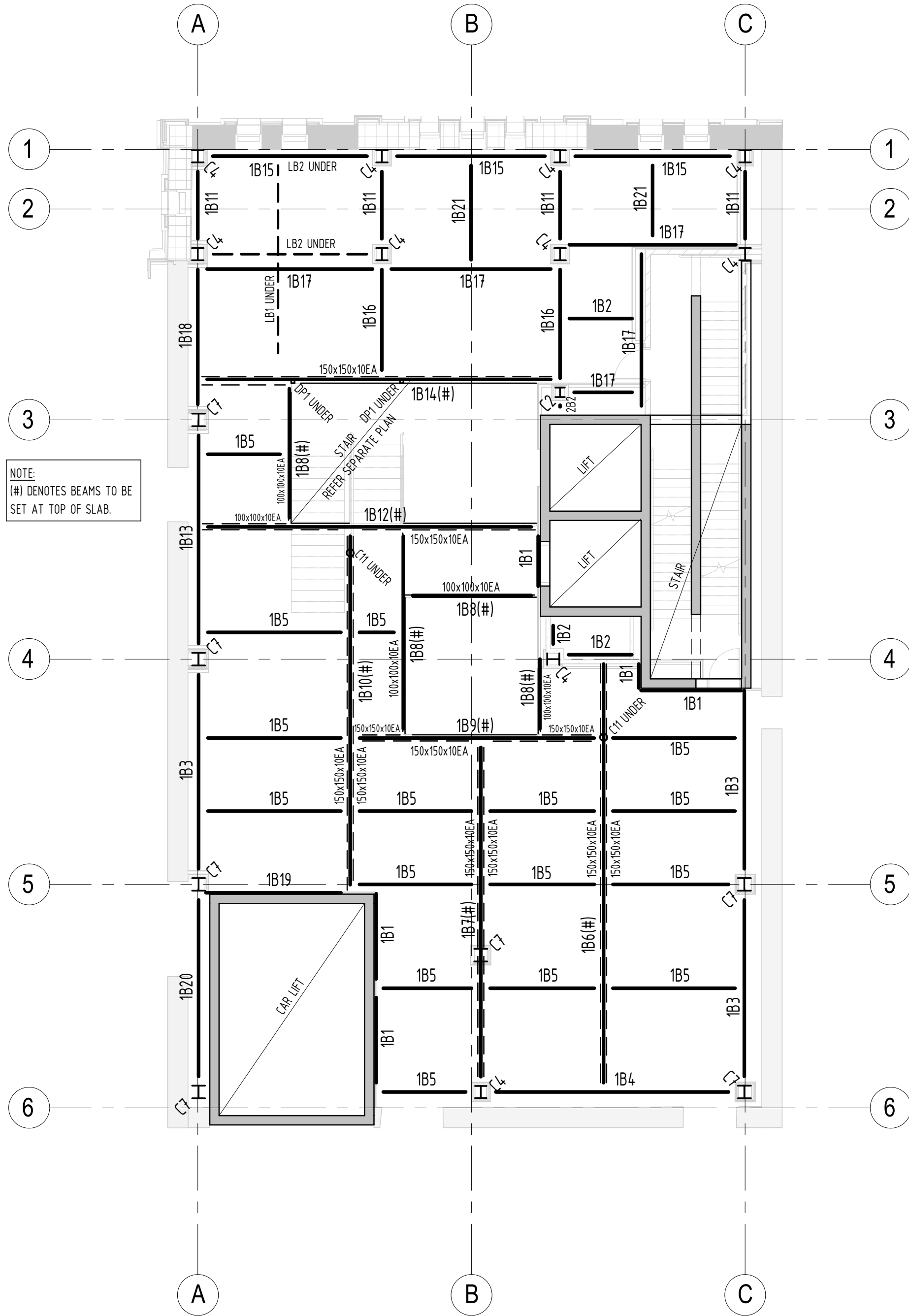
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Drawing Title
PLAN DETAILS
Scale 1:10
Original Size
Issue

33-17640 A-0677



GROUND TO LEVEL 1 - STAIR LANDING FRAMING PLAN
SCALE 1:100

GROUND TO LEVEL 1 STAIR FRAMING SCHEDULE		
MARK:	SIZE:	COMMENTS: (U.N.O.)
SB1	200 PFC	STAIR LANDING BEAM.

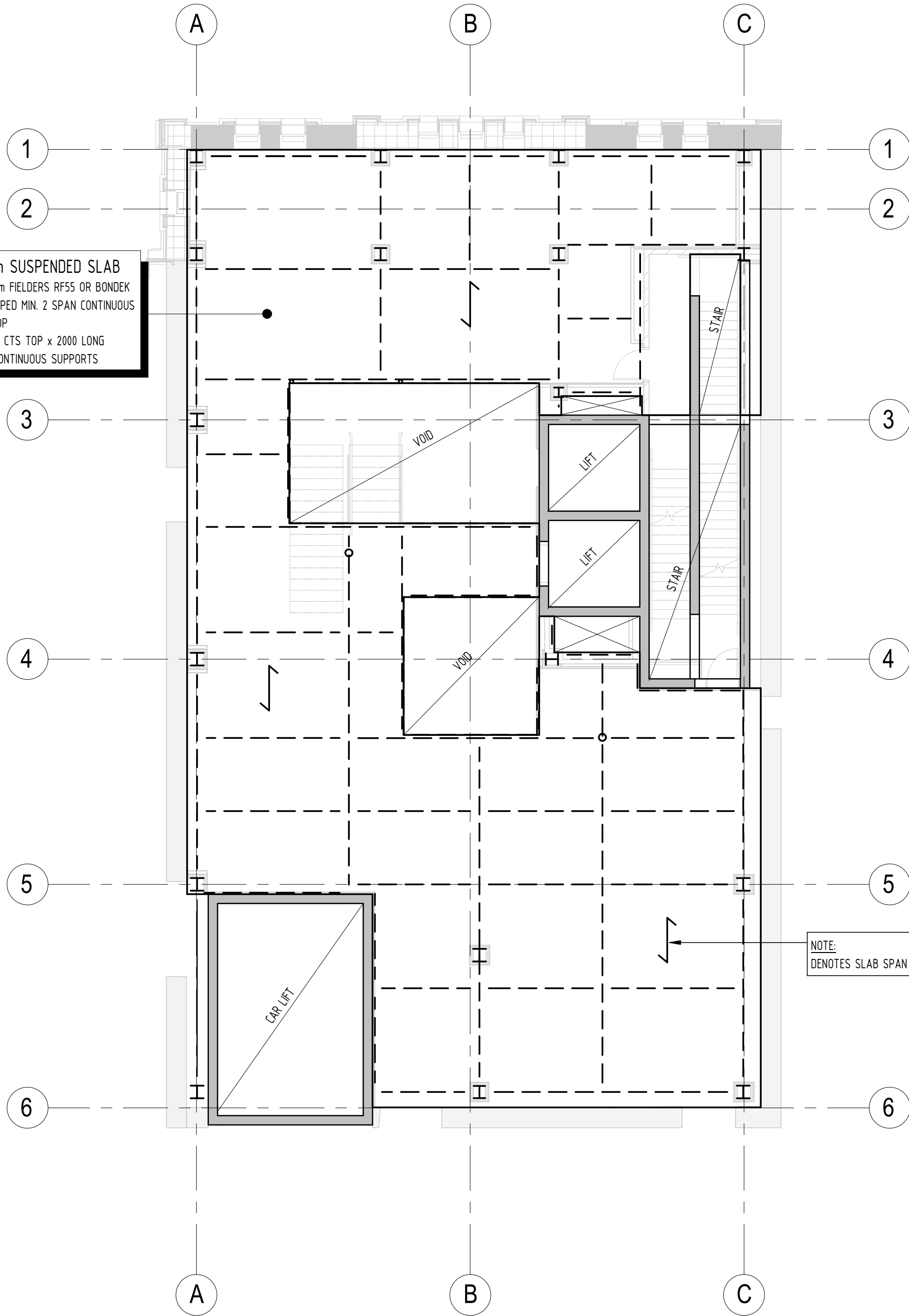


LEVEL 1 FLOOR FRAMING PLAN
SCALE 1:100

STEELWORK COLUMN SCHEDULE		
MARK:	SIZE:	COMMENTS: (U.N.O.)
C1	310UC118	COLUMN.
C2	250UC73	COLUMN.
C3	323.9x9.5 CHS	COLUMN.
C4	310UC158	COLUMN.
C5	323.9x12.7 CHS	COLUMN.
C6	250UC90	COLUMN.
C7	350WC230	COLUMN.
C9	250UC90	COLUMN.
C10	100x4.0 SHS	COLUMN.
C11	193.7x5.0 CHS	COLUMN.
C12	125x75x4.0 RHS	COLUMN.
DP1	89x5.0 SHS	DROPPER.
ML1	125x75x4.0 RHS	MULLION.
ML2	125x5.0 SHS	MULLION.
RC1	100x6.0 SHS	ROOF COLUMN.
RC2	150UC30	ROOF COLUMN.
RSC1	100x6.0 SHS	ROOF STUB COLUMN.
SSC1	100x4.0 SHS	SCREEN SUPPORT COLUMN.
VC1	250UC90	COLUMN.
VC2	273.1x9.3 CHS	ROOF COLUMN.

LEVEL 1 FRAMING SCHEDULE		
MARK:	SIZE:	COMMENTS: (U.N.O.)
1B1	125x10 EA	WALL ANGLE. FIXED TO WALLS.
1B2	200UB25	FLOOR BEAM.
1B3	360UB45	FLOOR BEAM.
1B4	460UB75	FLOOR BEAM. (COMPOSITE)
1B5	150UC30	FLOOR BEAM. (COMPOSITE)
1B6	610UB101	FLOOR BEAM.
1B7	460UB67	FLOOR BEAM.
1B8	300 PFC + 6 VERT. PL.	FLOOR BEAM. PROVIDE VERTICAL PL. FOR EXTENT OF VOID.
1B9	410UB60 + 6 VERT. PL.	FLOOR BEAM. PROVIDE VERTICAL PL. FOR EXTENT OF VOID.
1B10	530UB92	FLOOR BEAM.
1B11	150UC37	FLOOR BEAM.
1B12	460UB67 + 6 VERT. PL.	FLOOR BEAM. PROVIDE VERTICAL PL. FOR EXTENT OF VOID.
1B13	360UB45	FLOOR BEAM.
1B14	460UB82 + 6 VERT. PL.	FLOOR BEAM. PROVIDE VERTICAL PL. FOR EXTENT OF VOID.
1B15	200UC46	FLOOR BEAM. (COMPOSITE)
1B16	150UC37	FLOOR BEAM.
1B17	200UC52	FLOOR BEAM. (COMPOSITE)
1B18	360UB45	FLOOR BEAM.
1B19	150 PFC	FLOOR BEAM. FIXED TO WALL.
1B20	200UC46	FLOOR BEAM.
1B21	150UC30	FLOOR BEAM.
LB1	310UC118	LIFTING BEAM. 4-M20 BOLTS TO 'LB2' BOTTOM FLANGE. 10 THK. END PLATES.
LB2	310UC118	LIFTING BEAM.

140mm SUSPENDED SLAB
ON 10mm FIELDS RS55 OR BONDEK
UNPROPPED MIN. 2 SPAN CONTINUOUS
SL92 TOP
N12-300 CTS TOP x 2000 LONG
OVER CONTINUOUS SUPPORTS



LEVEL 1 SLAB PLAN
SCALE 1:100

C	15.09.15	90% REVIEW ISSUE	MJS	JF	NL
B	24.07.15	50% REVIEW ISSUE	MJS	SI	
A	22.12.14	PRELIMINARY ISSUE	MJS	SI	
REV.	DATE	DESCRIPTION	DRAFT.	ENG.	CHKD.

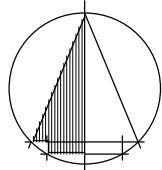
W&G

WALLBRIDGE & GILBERT
Consulting Engineers
60 Wyatt Street, Adelaide, SA 5000
Phone: 08 8223 7433

OFFICE & APARTMENT REDEVELOPMENT
AT 203 NORTH TERRACE
FOR CATCON

LEVEL 1 FRAMING & SLAB PLANS

A1		DRAWING NUMBER		Job Number		Sheet No.		Rev.	
Design	SI	Drawn	MJS	WAD121048	S1.20	C			



COORDINATION ISSUE
NOT FOR CONSTRUCTION

C:\BIN\PROJECTS\WAD121048 - 203 NORTH TERRACE - michael.mitchell\245.mtl
15/09/2015 8:34:07 PM

When sheet printed full size, the scale bar is 1:1 (100mm).
0 50 100mm

ATTACHMENT 2

APPLICATION DOCUMENTS

DEVELOPMENT APPLICATION FORM

PLEASE USE BLOCK LETTERS

COUNCIL: ACC.

APPLICANT: CATCON.

Postal Address: 598-600 SOUTH RD. ANGLE PARK. SA. 5010

Owner: CATCON.

Postal Address: AS ABOVE.

BUILDER: TBA.

Postal Address: _____

Licence No: _____

CONTACT PERSON FOR FURTHER INFORMATION

Name: NELO REBULI.

Telephone: 81116964 [work] _____ [Ah]

Fax: _____ [work] _____ [Ah]

EXISTING USE: N/A.

FOR OFFICE USE

Development No: _____

Previous Development No: _____

Assessment No: _____

- ☐ Complying
- ☐ Non Complying
- ☐ Notification Cat 2
- ☐ Notification Cat 3
- ☐ Referrals/Concurrences
- ☐ DA Commission

Application forwarded to DA

Commission/Council on

/ /

Decision: _____

Type: _____

Date: / /

	Decision required	Fees	Receipt No	Date
Planning:	_____	_____	_____	_____
Building:	_____	_____	_____	_____
Land Division:	_____	_____	_____	_____
Additional:	_____	_____	_____	_____
Development Approval	_____	_____	_____	_____

DESCRIPTION OF PROPOSED DEVELOPMENT: MIXED USE DEVELOPMENT

LOCATION OF PROPOSED DEVELOPMENT: 201 NORTH TERRACE, ADELAIDE.

House No: 203 Lot No: 2 Street: NORTH TCE. Town/Suburb: ADELAIDE.

Section No [full/part] 2273 Hundred: ADELAIDE. Volume: 553. Folio: 314.

Section No [full/part] _____ Hundred: _____ Volume: _____ Folio: _____

LAND DIVISION:

Site Area [m²]: 490 Reserve Area [m²]: _____ No of existing allotments: 1

Number of additional allotments (excluding road and reserve): _____ Lease: YES ☐ NO ☐

BUILDING RULES CLASSIFICATION SOUGHT: N/A. Present classification: N/A.

If Class 5, 6, 7, 8 or 9 classification is sought, state the proposed number of employees: _____ Male: _____ Female: _____

If Class 9a classification is sought, state the number of persons for whom accommodation is provided: N/A.

If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises: N/A.

DOES EITHER SCHEDULE 21 OR 22 OF THE DEVELOPMENT REGULATIONS 2008 APPLY? YES ☐ NO ☒

HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 2008 LEVY BEEN PAID? YES ☐ NO ☒

DEVELOPMENT COST (do not include any fit out costs): \$ 20M.

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Regulations 2008.

SIGNATURE: NELO REBULI.

Dated: 12 / 10 / 15.



12 October 2015

Development Assessment Commission
Attn: Gabrielle McMahon
GPO Box 1815
Adelaide SA 5001

Our ref: 33/17640
59076
Your ref:

Dear Madam

DA 020/0003/14A
Planning Approval Variations

We write to outline amendments to the design from that originally submitted with the Planning Approval documentation. These variations have occurred during the design development and detailed documentation stages of the project. The changes are summarised as follows:

1. Amendments to the structural retention methodology.
2. Position of the car lift shaft within the southern stone wall.
3. Bulkhead along the southern interior wall to accommodate mechanical ductwork.
4. Feature stair from Ground Level to Level 1.

The following drawings and documents have also been included with this letter and are referred to below:

- DA Variation application form
- 33-17640 A-0102 – GA PLAN GROUND & LEVEL 1
- 33-17640 A-0201 – RC PLAN LEVELS STREET, GROUND AND 1
- 33-17640 A-0301 – FINISHES PLAN & ELEVATIONS
- 33-17640 A-0304 – INTERNAL ELEVATIONS GROUND & LEVEL 1
- 33-17640 A-0403 – PART ELEVATION SOUTH
- 33-17640 A-0460 – SECTION A LOWER
- 33-17640 A-0553 – STAIR DETAILS SHEET 4
- 33-17640 A-0654 – SECTION DETAILS
- 33-17640 A-0656 – SECTION DETAILS
- 33-17640 A-0677 – PLAN DETAILS
- 'WAD121048 RevA 31/08/15 Structural Methodology for Heritage Retention Utilising Temp Bracing.
- WAD1211048 S1.20C
- Adelaide Pest Control Report

1. Amendments to the structural retention methodology.

This has arisen to address the damage to the existing structural timber caused by the incursion of termites, as first discussed in a meeting (conducted 28/07/15) involving the client, project

team, Jason Bailey and Peter Wells. It was identified that a large proportion of structural and non-structural timber, had been damaged throughout the building.

A report by Adelaide Pest Control (see attached) has identified that a long term commercial warranty from a certified termite eradication contractor cannot be provided. As a result, it was proposed that a new concrete slab solution for both Level 1 and the southern portion of Ground Level would be employed, thus providing definite surety for the long term commercial viability of the building. This solution involves:

- The existing timber boards, skirtings, architraves and matchboard ceiling linings will be salvaged, cleaned, tested for damage and reused over the new slab, with any shortfall made up with new material to match.
- The new Level 1 steel support structure is arranged in such a way to simulate the old bearer locations, height and proportions. The concrete slab spans between these main members (refer structural layout WAD121048 S1.20). The timber matchboard lining is applied under a line of fire rated plasterboard, a building rules requirement to protect the base structure. The plasterboard is exposed to express the shape of the bearers (ceiling plan 33-17640 A-0201, detailed 33-17640 A-0656)
- The salvaged cast iron columns and capitals on Ground Level are repositioned to this new alignment and are visually expressed as detailed on 33-17640 A-0656 (and 33-17640 A-0102, 33-17640 A-0304, 33-17640 A-0201, 33-17640 A-0460). As structural elements, the capitals and columns previously needed to be fire rated for one hour proposed to be done with a built up multi layered system of intumescent paint. This could potentially obscure some detail on the capitals. An added benefit now is that decorative paint is only required.
- The salvaged timber columns and capitals on First Level are repositioned to a new alignment and expressed (33-17640 A-0102, 33-17640 A-0304, 33-17640 A-0460).

The original methodology entailed the utilization of the old floor and column structures and integrated the preservation of these elements within the overall structural solution. This has now been revised to reflect the amended approach. Find the revised structural support methodology document attached 'Structural Methodology for Heritage Retention Utilising Temp Bracing'.

In integrating the new structure, the existing position and depth of the Level 1 floor framing and matchboard ceiling has been replicated. Note that this item will also affect conditions 2 and 3 in the Decision Notification Form (Revision 2), which will be addressed in a separate letter.

2. Position of the car lift shaft within the southern stone wall.

Also discussed in some detail at the above mentioned meeting was the issue of the position of the car lift shaft in relation to the southern façade, driven by the need to obtain compliance with AS 2890.1:2004 and to create sufficient vehicle turning space in the affected floors.

In discussions at the meeting it was suggested that the expression of the concrete shaft on the southern façade may be deemed acceptable given the visual (and physical) isolation of the wall. The attached drawings 33-17640 A-0403 and detail on 33-17640 A-0677 convey this intent, with the lift shaft texture painted and the edge of stonework expressed with repaired and repointed stone dowelled into the new concrete shaft. Note that the site title boundary to the light well easement is concurrent with the southern edge of the wall thus limiting any ability to overhang the lift shaft beyond the stone face.

3. Bulkhead along the southern interior wall to accommodate mechanical ductwork.

In order to make provision for future mechanical fit out within the Ground floor, a bulkhead enclosed duct has been added along the southern and eastern wall lines to accommodate future toilet exhaust and air intake, as shown on drawings 33-17640 A-0201 ceiling plan and 33-17640 A-0403 south elevation. A wider drop ceiling has been detailed just south of the main lift core to accommodate the air conditioning unit which is being installed as part of the base build works. The plans attached also indicate a proposed zone which has been identified for future amenities as part of any tenancy leasing negotiations with the zone aligning closely with the air conditioning unit drop ceiling.

4. Feature stair from Ground Level to Level 1.

A feature stair has been added to create a direct link between Ground and Level 1. This has been proposed because the Ground floor provides a small tenancy space and in order to make it more commercially viable a direct connection has been made with Level 1. Refer to the plans attached and specifically 33-17640 A-0553 & 0654, for details.

We trust the information provided is to your satisfaction, please contact the undersigned with any queries.

Sincerely
GHD Pty Ltd



Nello Rebuli
Senior Associate Architect
08 8111 6964

-encl documents noted



WALLBRIDGE & GILBERT
Consulting Engineers

Catcon

203 NORTH TERRACE, ADELAIDE



STRUCTURAL METHODOLOGY FOR HERITAGE RETENTION UTILISING TEMP BRACING

Job No. WAD121048
Rev A
31st August 2015



C

ONTENTS

1	INTRODUCTION.....	3
2	STRUCTURAL CONSTRUCTION METHODOLOGY.....	4

APPENDIX A - SKETCHES

REVISION HISTORY					
Rev	Date	Issue	Originator	Checker	Approver
A	10/11/2014	APPROVAL	SMI		
B	31/08/2015	APPROVAL	JPF		

1

INTRODUCTION

Wallbridge & Gilbert has been engaged by Civil and Allied Technical Construction Pty Ltd (CATCON) to carry out structural and civil consulting works on a proposed multi level residential/office/commercial building development with a combined total of 19 levels and basement. The proposed building tower is encapsulated within the facade of an existing State Heritage listed building. The Planning Notification Form has requested a detailed construction methodology for the proposed development (insofar as it impacts on the physical fabric, interior spaces and structural stability of the subject historic building, and on the stability of the adjoining historic buildings to either side).

The current form of the building consists of a half basement with suspended timber floors at basement, ground and first floor levels. Timber trusses support the metal roof with timber posts above first floor and cast iron columns below. All walls are of stone construction, with bluestone footings.

An initial Structural Methodology report was presented to address the retention of the suspended timber floors as part of these works. Recent advice from termite specialists has indicated issues with existing termite activity within the existing timber structural elements and with ongoing warranty of long term termite protection. As a result the retention of the timber floor structural elements has now been abandoned, with the Ground and Level 1 floors to be rebuilt in steel and concrete materials. The following amended report outlines the revised methodology associated with this revised approach.

2

STRUCTURAL CONSTRUCTION METHODOLOGY

The following revised summary of the proposed construction methodology is offered to demonstrate the processes to be adopted to retain the physical fabric and provide structural stability to the subject historic building, and also provide ongoing stability of the adjoining historic buildings to either side during construction.

The intent is to retain the existing building perimeter stone wall facades only. The original intention to retain the Level 1 timber floor system and the rear (southern) Ground Level timber floor system and their supporting cast iron columns where practicable has been abandoned due to the outcomes of a recent termite specialist review revealing extensive termite infestation / damage to the existing timber elements and of long term warranty issues with respect to future termite protection of structural timber elements.

The temporary building facade support is to be achieved predominantly via use of temporary construction propping elements (eg RMD Propping Units Megashor/Slimshor or similar) until the external perimeter stone wall structure is fully tied into the new floor slab levels and the associated stabilising lift and stair shaft cores.

To achieve this we propose the following construction methodology:

- Refer Sketch Drgs TSK100 and TSK109 to TSK110 for plan view layouts.
- Refer Sketch Drgs TSK126 to TSK129 for elevation views.
- Refer Sketch Drgs TSK133 to TSK137 for detail views.
- During the following sequence to install the temporary external stone wall restraint system the existing timber floor structures will require backpropping to facilitate construction live load activities.
- Install horizontal lateral restraint systems at underside of existing roof and just above the existing Level 1 and Ground Level floors as depicted in the attached sketches TSK109 – 110. This is to include the north and south elevation vertical internal/external Megashor wall stabilising mullions.
- The Ground Level lateral restraint system is to be located sufficiently high enough to allow construction access into the building through the existing driveway entry (but no more than 2.5m nominal clearance).
- The north and south vertical upper wall Megashor stabilising mullions are to be located proud of the wall faces and ornamental overhangs. Hard wood timber packers and wedges are to be installed between the Megashor mullions and the wall faces and the mullions are to be tied together to create a compression clamp system.
- Remove existing roof structure.

- Remove Level 1 timber floor boards, floor joists and bearers and supporting cast iron columns. Retain cast iron columns for potential re-use as decorative elements (to Architects details)
- Remove Ground Level timber floor boards, floor joists and bearers and supporting cast iron columns. Retain cast iron columns for potential re-use as decorative elements (to Architects details).
- Remove Basement Level timber floor boards, floor joists and bearers.
- At this stage the Stage 2 deep borehole geotechnical site investigation is to be undertaken.
- After completion of the Stage 2 deep borehole geotechnical site investigation excavate to RL41.21 (TBC) around the external grid adjacent the external walls, which will approximately coincide with the underside of the new major raft footing slab at the lower ground floor level (TBC).
- Install CFA piles to the raft footing perimeter (all round). Low headroom rig may be required to avoid the Ground Level temporary lateral bracing system. Final pile details to be confirmed during detailed design and on the outcome of the Stage 2 geotechnical investigation, but as a guide 500mm diameter piles x 6m deep at 2m centres. Piles to the basement perimeter to be installed and terminated at the base of the lower or upper raft underpin levels as appropriate. Removal of the existing north western entry ramp to the basement floor area will be required at this stage.
- CFA piles immediately to the east of the eastern central lift and stair core will be required to provide temporary lateral support to the egress corridor deep excavation zone.
- Install underpins adjacent areas of the lowered basement floor with toe portion of low level RL 40.38 raft slab (refer Sketch TSK100 for underpinning extent and Sketch TSK133 and TSK134 for typical underpin detail). Underpins are to be constructed in a 3 staged sequence, each of 1m maximum width (i.e. construct 1st underpin of 1m length, leaving 3m space to the next 1st stage underpin and so on. 2nd stage underpins to be installed midway between the 1st stage underpins after completion of the 1st stage installation. 3rd stage final infill underpins to be installed between the 1st and 2nd stage underpins after completion of the 2nd stage installation).
- Variation to the preceding point is the rear (southern) wall of the car lift shaft (refer sketch SK137). Due to the geometry the underpin will be offset to the stone wall above. Proceed in a similar fashion and in addition provide 2 Slimshor props per 1m underpin segments, installed prior to commencing the next stage underpin segment.
- In a similar fashion install the underpins to the high level RL 42.01 raft footing slab in a 3 stage segmental sequence to a founding depth of not less than the non-desiccated Keswick Clays identified within the Preliminary Geotechnical Investigation report dated Feb 2013 (refer Sketch TSK100 for underpinning extent and Sketch TSK135 and TSK136 for typical underpin detail). This founding depth is approximately 1500mm below the current Basement timber floor (RL40.56 approx).
- Install external perimeter section of remaining RL42.01 high level raft footing slab.
- Construct remainder of the lower and upper split level basement raft footing slab. The upper raft footing is to be founded via lean mix onto the un-desiccated level of Keswick clay. It is expected this level will vary across the site and lean mix is only required where the base of the raft slab bears onto the un-desiccated Keswick clays, highly calcareous soils or non-engineered fill. A notional depth of 1500mm below current timber floor level (about RL40.56) should be anticipated for the lean mix bearing depth level.

- Remove the rear stone wall within the car lift shaft zone and retain horizontal restraint members across this zone.
- Pour main stair/lift shaft and rear car lift shaft walls to Level 2 utilising cast insitu techniques. Tie existing external stone walls to new concrete shaft during this pour phase.
- Perimeter Megashor wall restraint members are to remain in position while the concrete shaft walls are poured around them within wall pockets.
- Install loadbearing block walls to the northern basement level and all primary steel columns to facilitate installation of Ground Level and Level 1 steel floor beam system supporting the Kingflor KF70 slabs. All perimeter steel beams are to be tied to the perimeter masonry/stone walls to each level.
- Pour concrete slabs to Street Level, Ground Level and Level 1 floors and tie fully to main Lift/stair and car lift concrete shafts.
- Temporary lateral restraint system may be removed upon completion of the corresponding slab pour and on completion of the tie system to the perimeter walls and lift/stair shafts.

APPENDIX A – SKETCHES



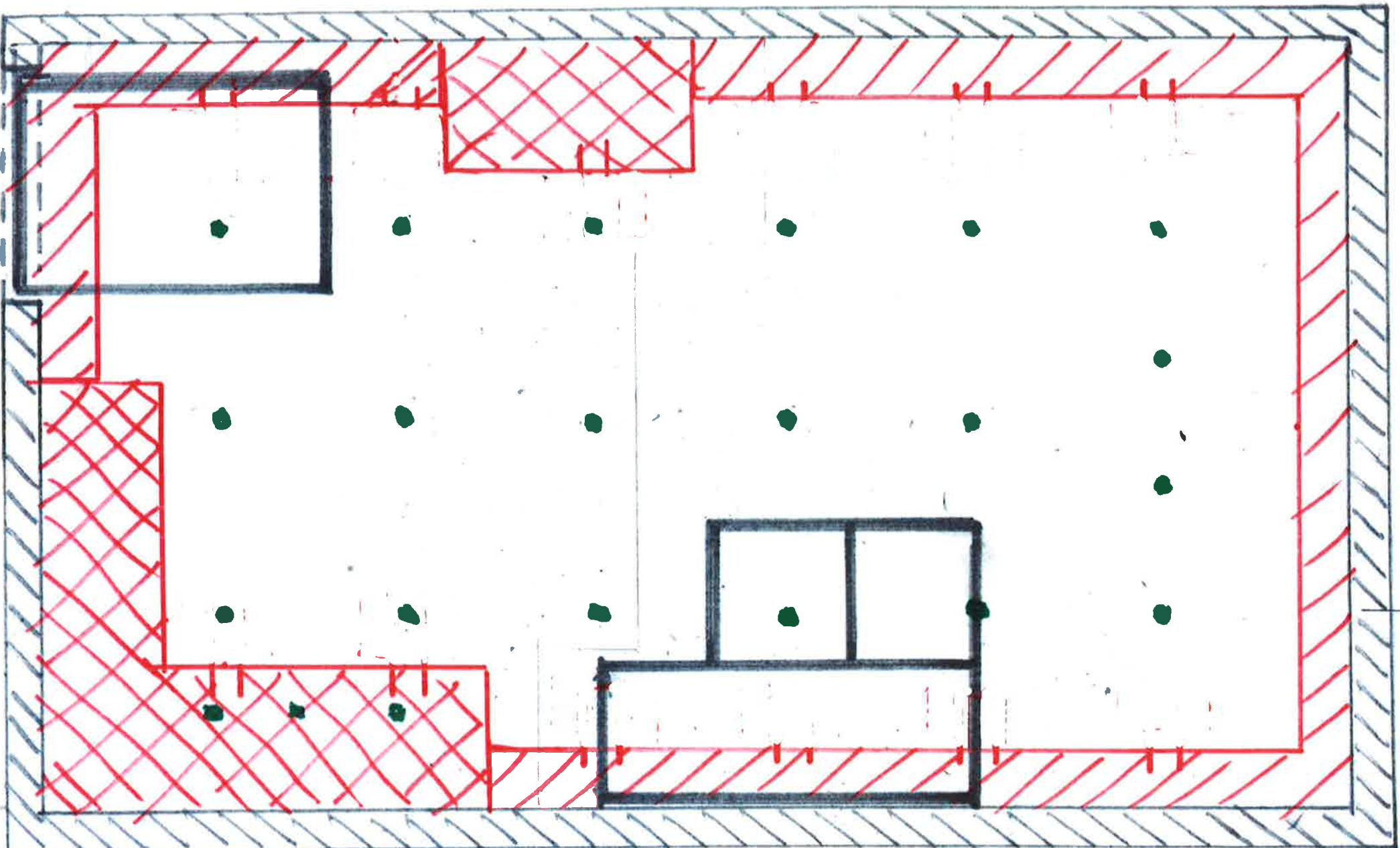
THE NATIONAL WINE CENTRE, HACKNEY, SA

WALLBRIDGE & GILBERT

BASEMENT PLAN ①

WAD 121048-ISK102B

NORTH TERRACE
 ↑ N



Basement

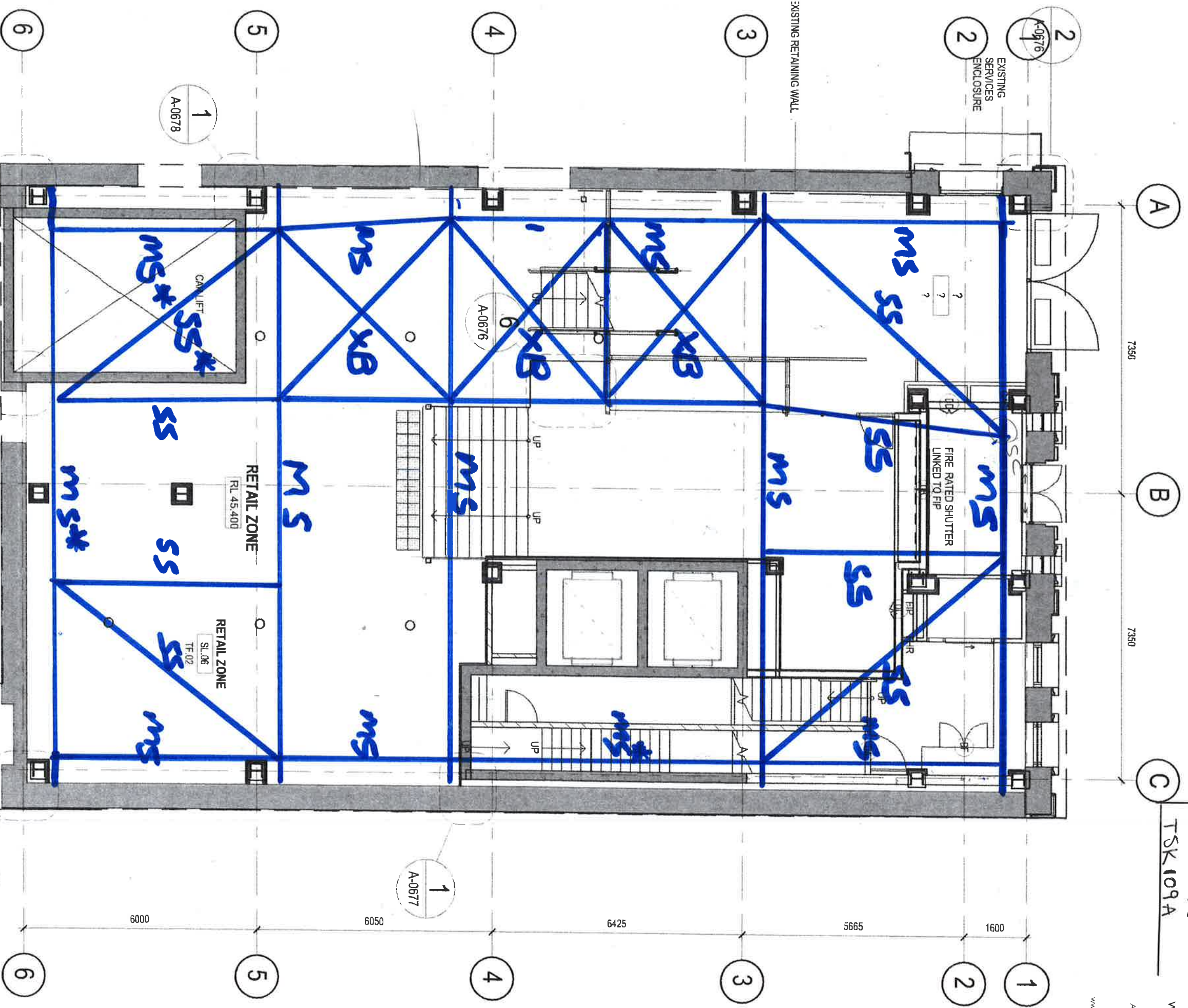
Low level
 Underpin Toe
 Footing

High level
 Rafter Footing
 & underpinnings

W&G

WALLBRIDGE & GILBERT
 Consulting Engineers

60 Wyatt Street
 Adelaide, South Australia 5000
 Phone (08) 8223 7433
 Facsimile (08) 8232 0967
 adelaide@wng.com.au
 www.wallbridgeandgilbert.com.au

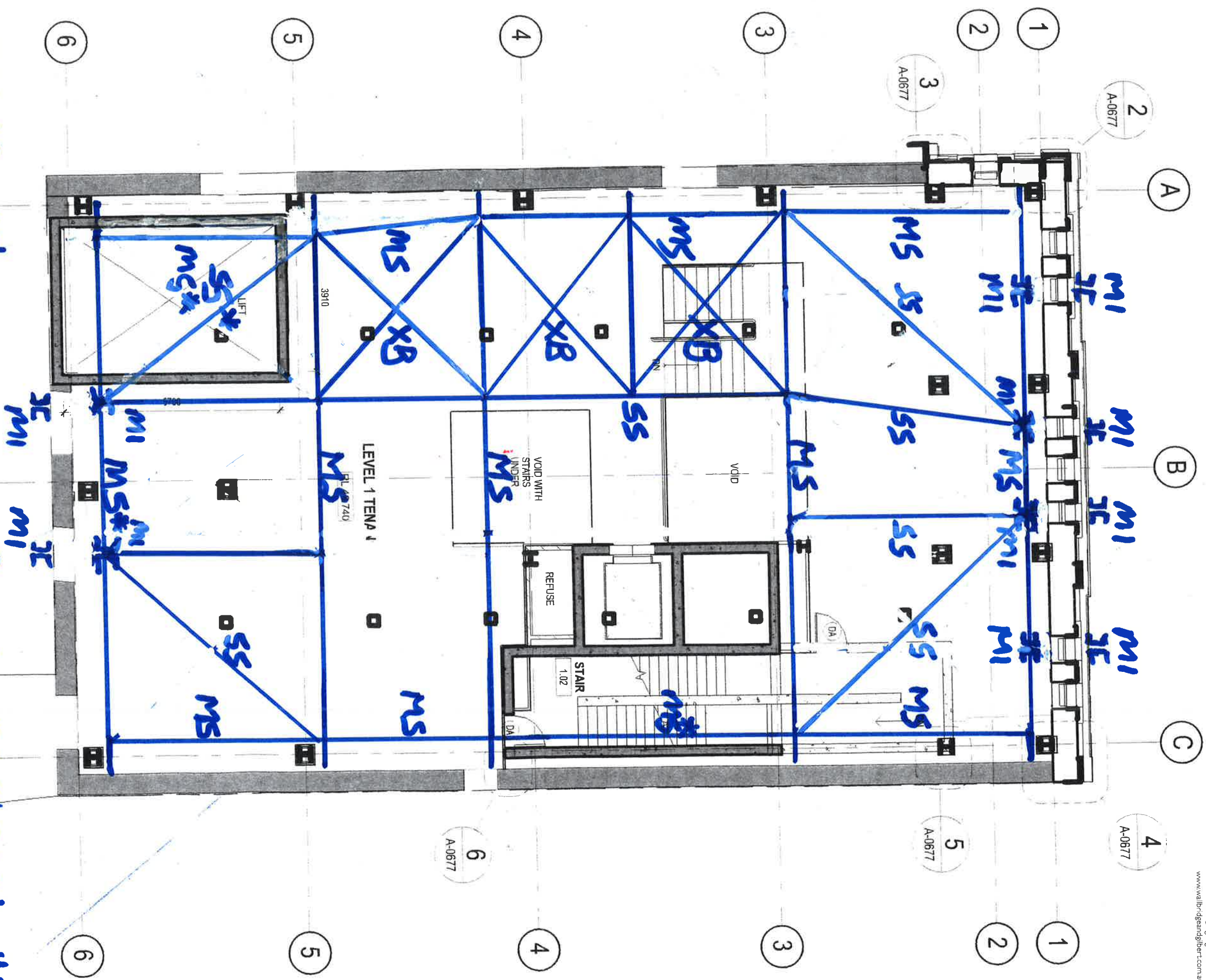


MS = Megashore
SS = Super Slim Shore
XB = Bar Tie (15mm)
* Denotes Members built into Insitu concrete shafts (sockets).

GROUND LEVEL BRACING

1 LEVEL GROUND FLOOR PLAN (At Existing RL)
A-0400 1:100

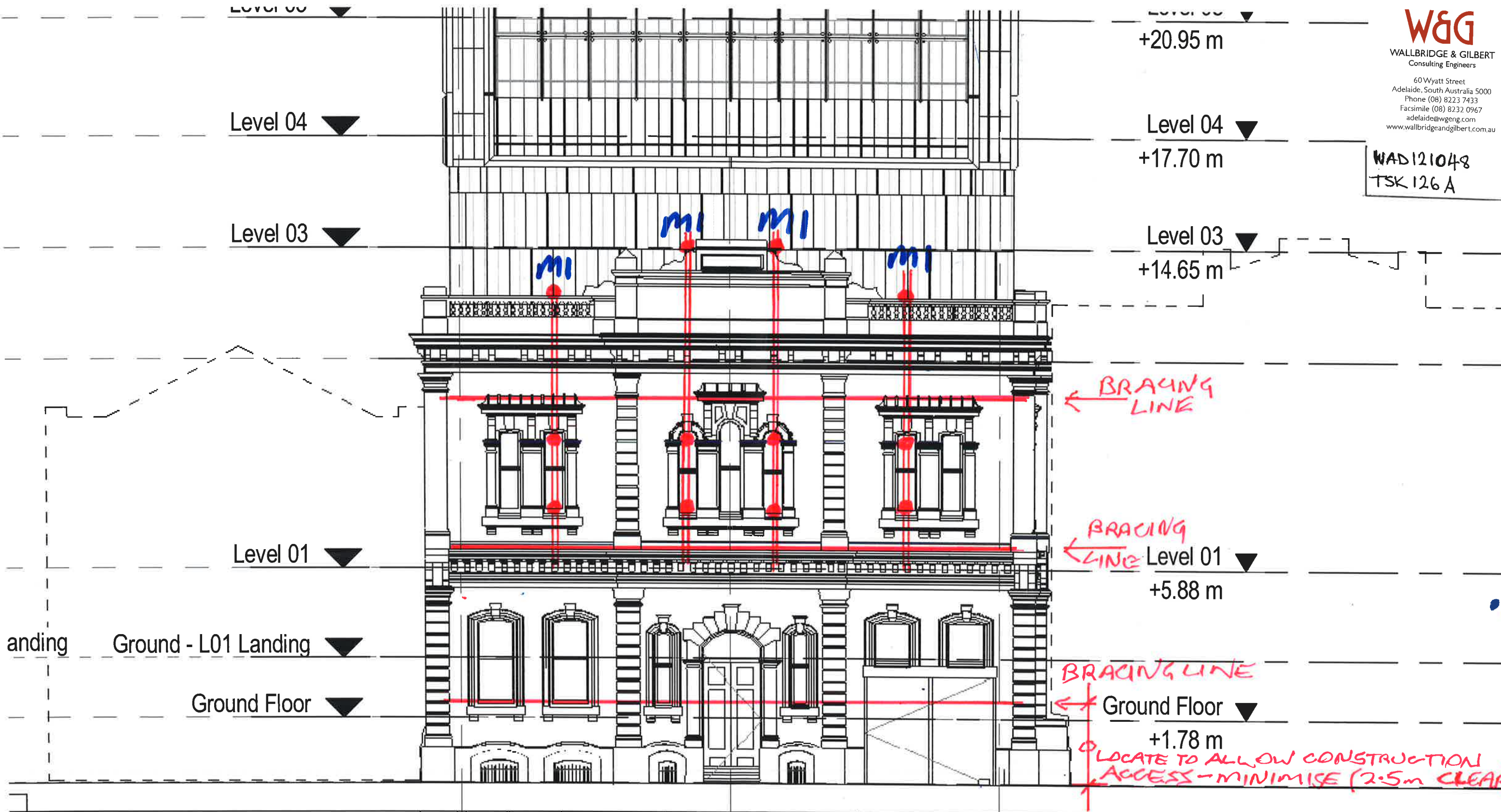
WAD 121048
TSK 110A



MS = Megashore
SS = Super Slim Shore
XB = Bar Tie (15mm)
JC = Denotes members built into in situ concrete shafts (pockets).

ROOF + LEVEL 1 BRACING

WAD121048
TSK 126 A



TION

NORTH ELEVATION BRACING

WAD121048
TSK 127 A

LOUVRE ZONE

Level 05 ▼
+20.95 m

Level 04 ▼
+17.70 m

Level 03 ▼
+14.65 m

Level 02 ▼
+11.60 m

Level 01 ▼
+5.88 m

Ground Floor ▼
+1.78 m

Lower Ground Floor ▼
-1.80 m

Street Level ▼

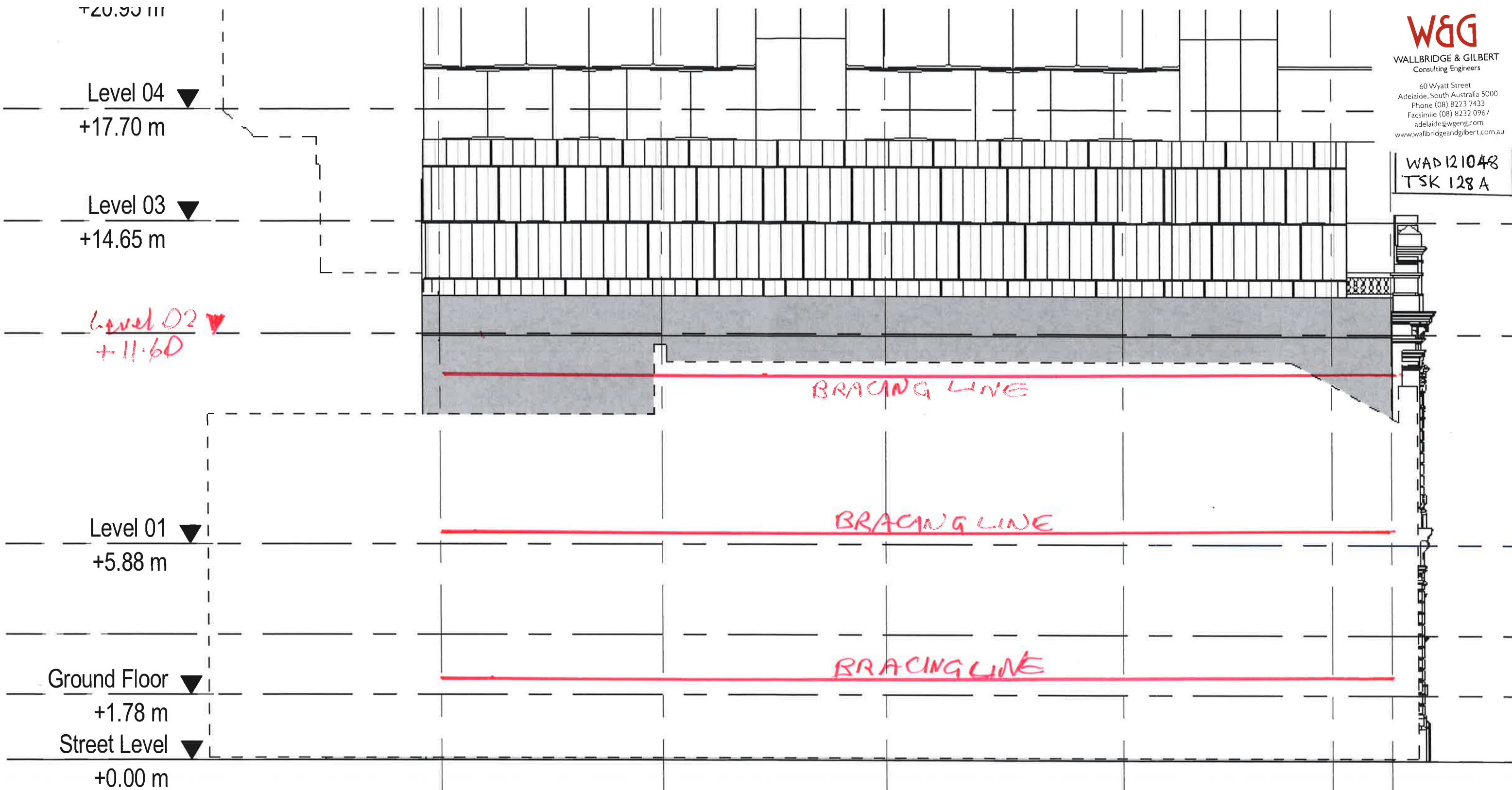
2

SOUTH ELEVATION

1:200

SOUTH ELEVATION BRACING

Ind Floor ▼



ATION

EAST ELEVATION BRACING LEVELS

CHES AND MATERIALS LEGEND

WAD121048
TSK129A

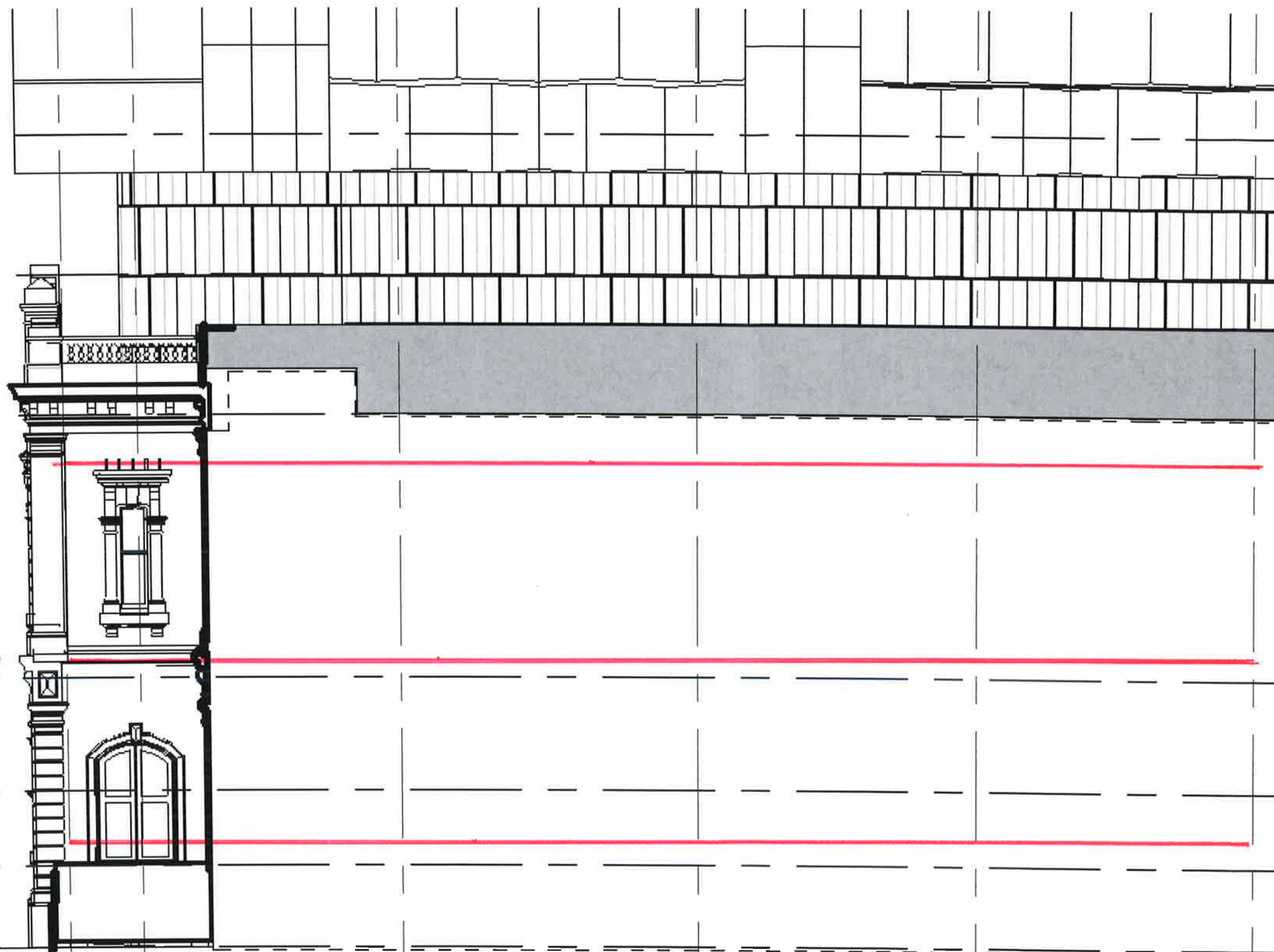
Level 03 ▼
+14.65

Level 02 ▼
+11.60

Level 01 ▼
+5.88

ground ▼
+1.78

street ▼
+0.00



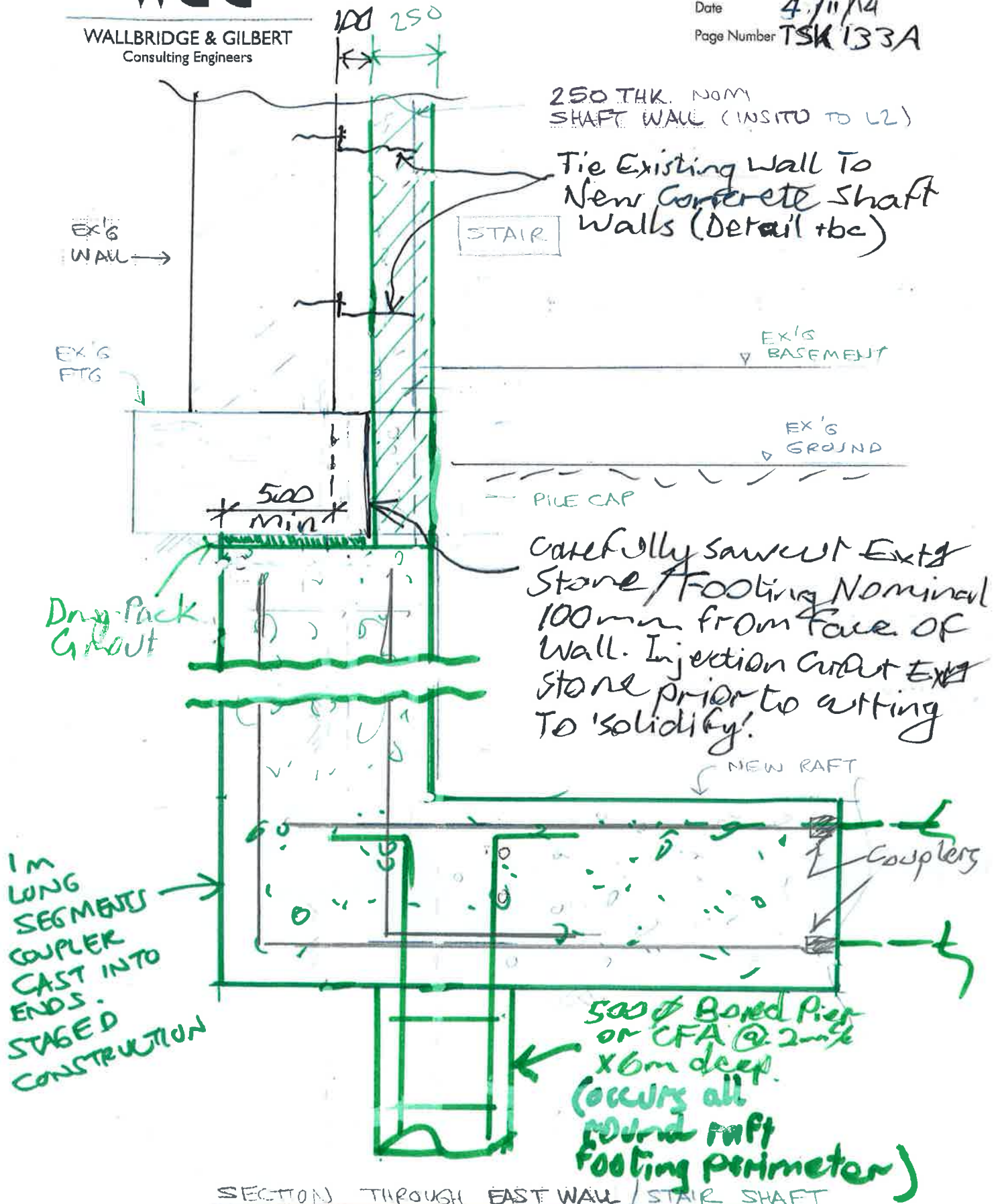
WEST ELEVATION BRACING LEVELS

TION

W&G

WALLBRIDGE & GILBERT
Consulting Engineers

Job Number WAD121048
Designer NL/SMT
Date 4/11/14
Page Number TSK133A



250 THK. NOM
SHAFT WALL (INSITU TO L2)

Tie Existing Wall To
New Concrete Shaft
Walls (Detail + b/c)

STAIR

EX'G
BASEMENT

EX'G
GROUND

Carefully sawcut Ex'g
Stone Footing Nominal
100mm from face of
Wall. Injection Grout Ex'g
Stone prior to cutting
To 'solidify'.

NEW RAFT

Couplers

1m
LONG
SEGMENTS
COUPLER
CAST INTO
ENDS.
STAGED
CONSTRUCTION

500mm Bored Pier
or CFA @ 2m/c
X 6m deep.
(covers all
round raft
footing perimeter)

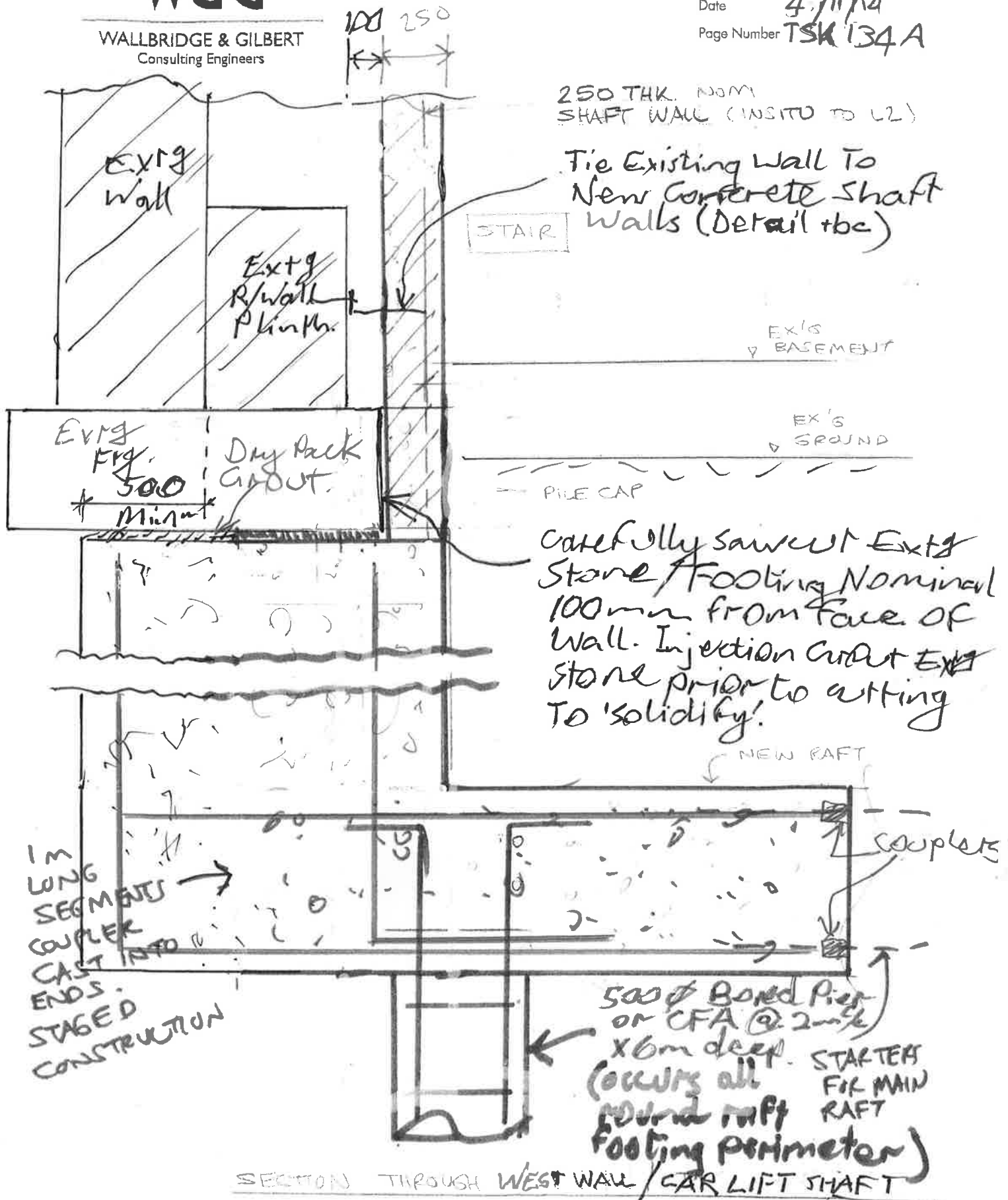
SECTION THROUGH EAST WALL / STAIR SHAFT

(Underpin Detail Similar All Round).
- Depth Varies

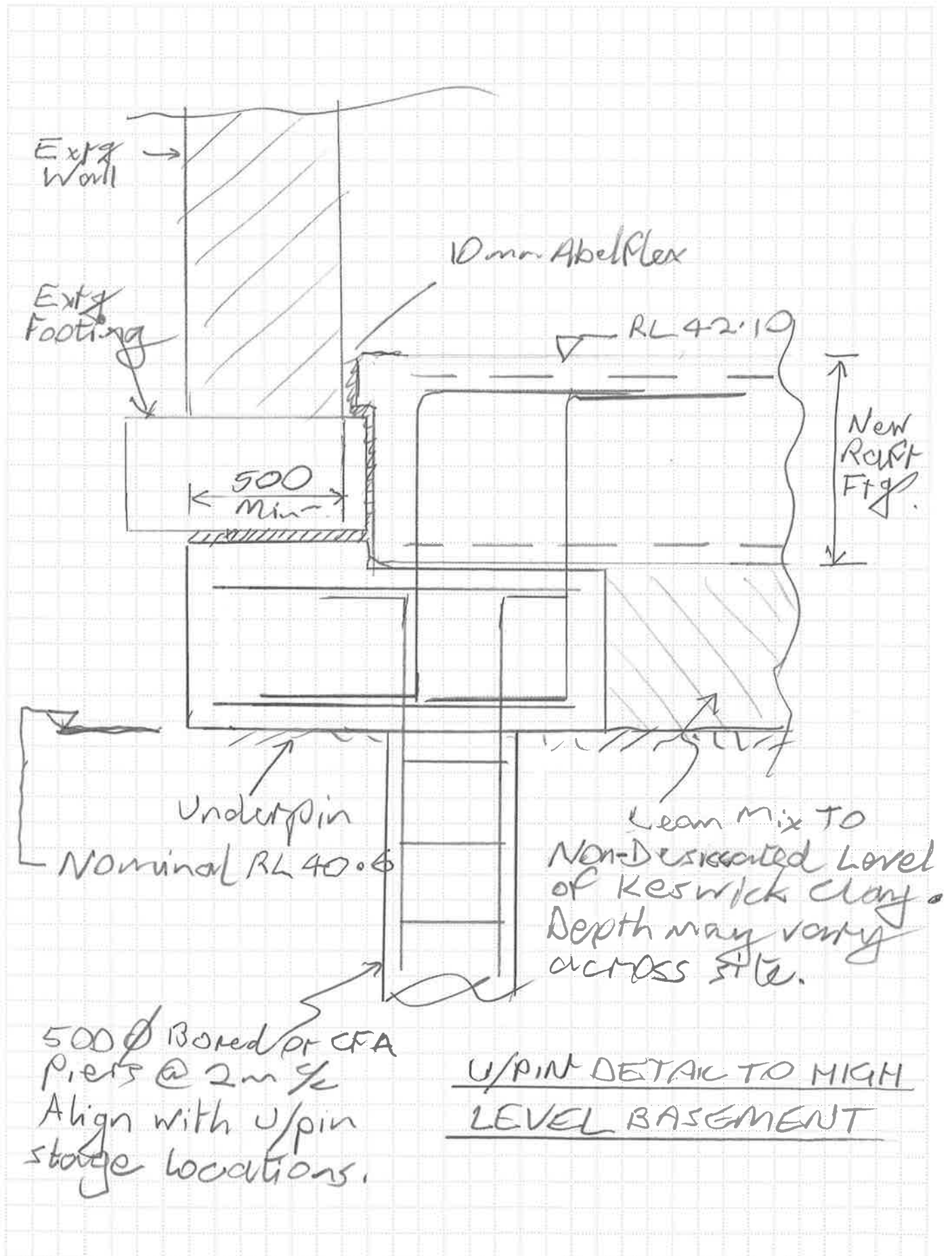
W&G

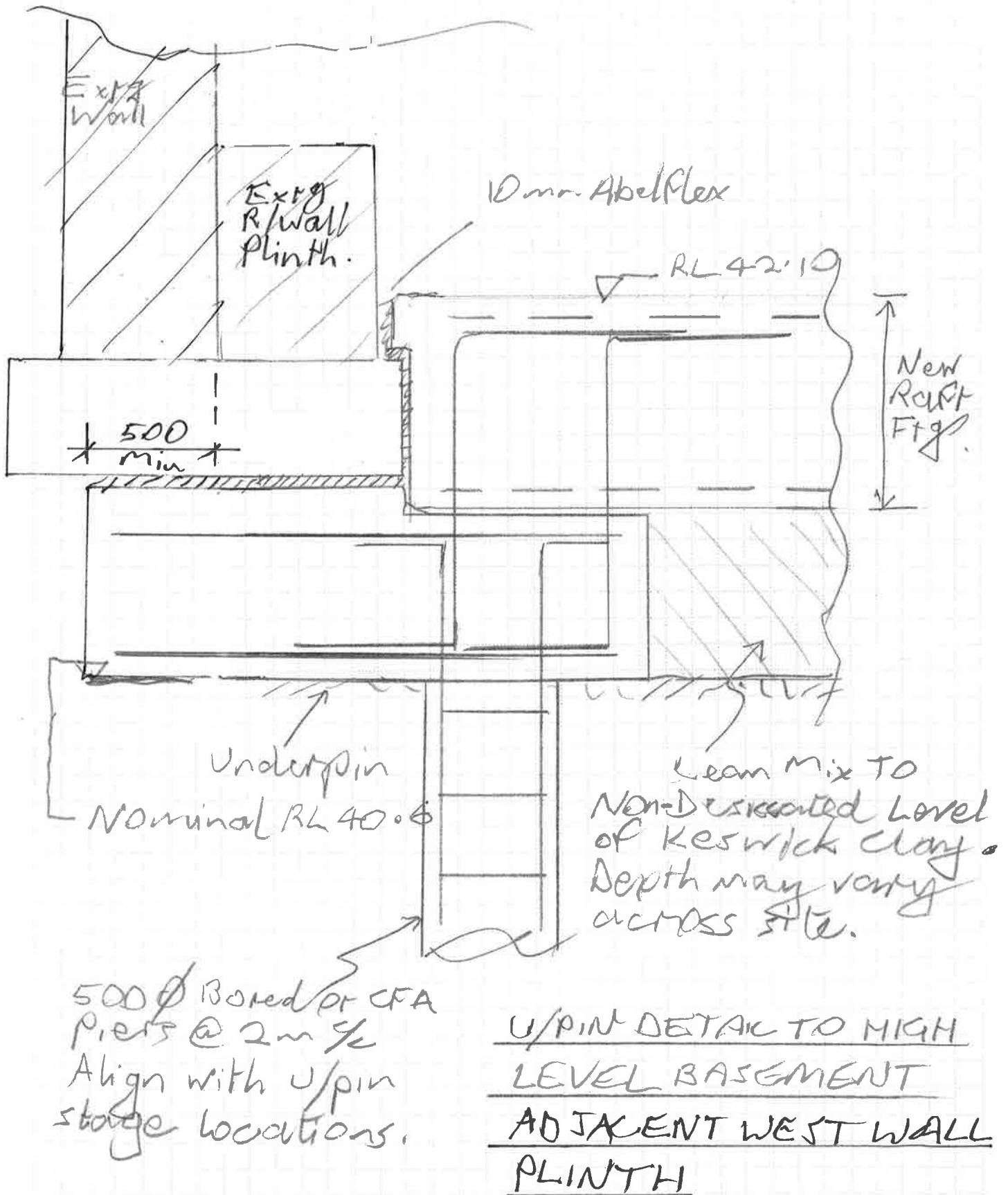
WALLBRIDGE & GILBERT
Consulting Engineers

Job Number WAD121048
Designer NL/SMT
Date 4/11/14
Page Number TSK 134 A

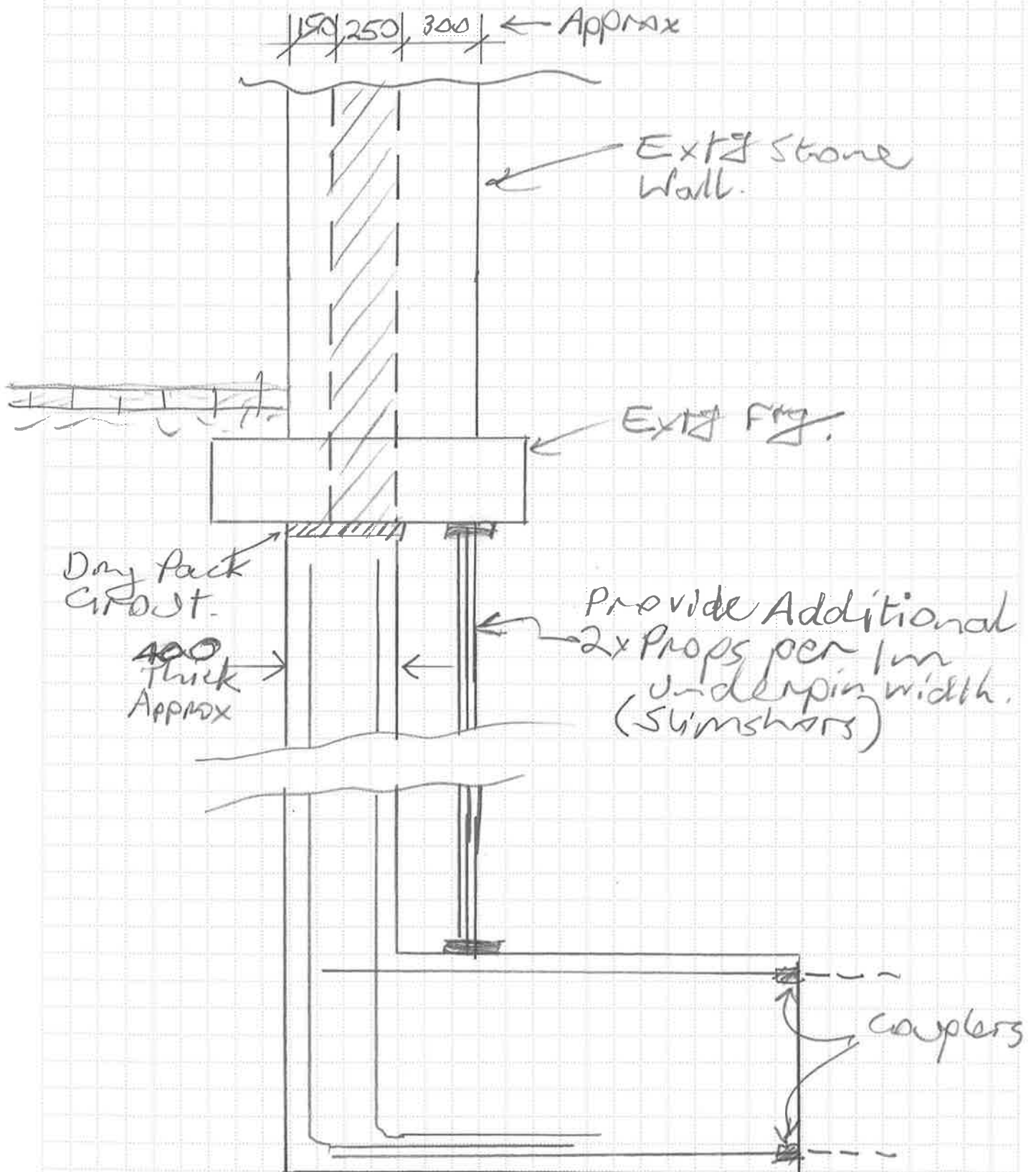


(Underpin Detail Similar All Round).
- Depth Varies





250
Shaft
Inch



CAR LIFT REAR (SOUTH) WALL SECTION



WALLBRIDGE & GILBERT
Consulting Engineers



AZTEC ANALYSIS
Engineers & Project Managers



TECHNICAL EXCELLENCE
INNOVATION
PROFESSIONALISM

PROJECT DIRECTOR

NICK LELOS

Telephone: 08 8223 7433

Email: nlelos@wga.com.au

ADELAIDE

60 Wyatt Street

Adelaide SA 5000

Telephone: 08 8223 7433 (W&G)

Telephone: 08 8223 5190 (Aztec)

Facsimile: 08 8232 0967

DARWIN

Suite 7,9 Keith Lane

Fannie Bay NT 0820

Telephone: (08) 8941 1678

Facsimile: (08) 8941 5060

MELBOURNE

20 Market Street

Southbank VIC 3006

Telephone: 03 9696 9522 (W&G)

Telephone: 03 9696 5635 (Aztec)

Facsimile: 03 9696 9577

PERTH

634 Murray Street

West Perth, WA 6005

Telephone: (08) 9336 6528

WHYALLA

Level 1, 15 Darling Terrace

Whyalla SA 5600

Telephone: 08 8644 0432

Facsimile: 08 8645 0544

WALLBRIDGE & GILBERT

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203 NORTH TERRACE ADELAIDE

A termite inspection was carried out by Gary Dennis and myself (Brian Calvert) on Tuesday 14/7/15 at 203 North Tce Adelaide we provide the following report and recommendations.

Due to the construction of the building we could not provide or offer any treatment options that would come with any form of warranty. In its current construction we could only spot treat activity as it comes to a head.

There is extensive termite damage evident on all levels from the ground floor floor boards to the roof joists at top. The walls of the building are constructed by stone and this also included the foundations. The building is also joined on 3 sides by other buildings this provides no access to these areas to be able to treat. Buildings of this construction are always going to be very high risk for termites

The majority of the joists and bearers are supported at their ends by resting in holes in the stone as supports, this was common of buildings constructed in this era unfortunately termites can use these areas as easy and undetected access into the timbers and in this present form makes ongoing protection from termite attack impossible.

In order to be able to provide termite control to this building we recommend the following.

All timbers on all levels should be replaced with termite resistant materials either treated timbers, concrete or steel "having timbers in these areas present a high risk".

The basement floor before the concrete slab is poured we recommend using a product manufactured by FMC called Homeguard this is an impregnated termite treated sheet that replaces the forticon and has a manufactures warranty of 25 years.

In addition regular inspections of the building will be required 3 to 4 times per year as this is a very high risk building that will require constant monitoring.

Adelaide Pest Control has been providing Pest Control solutions to South Australia for over 70 years and provides the above report and recommendations based on this experience.

If you have any questions on the above please do not hesitate to give me a call.

Assuring you of the best intentions and service at all times.

Yours Faithfully,
ADELAIDE PEST CONTROL

Mr Brian Calvert
TECHNICAL ADVISOR
MOBILE 0404 041295

ATTACHMENT 3

COUNCIL COMMENTS

AP 749 6M

Adelaide City Council

ABN 20 903 762 572

25 Pirie Street, Adelaide

GPO Box 2252 Adelaide

South Australia 5001

Tel 08 8203 7203

Fax 08 8203 7575

www.adelaidecitycouncil.com

Enquiries: **Janaki Benson 8203 7122**

Reference:

13 November 2015

045

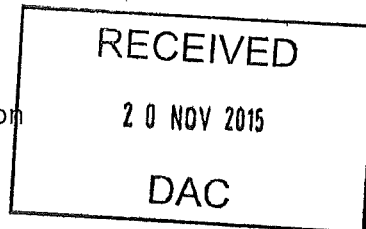


Development Assessment Commission

Level 6

136 North Terrace

ADELAIDE SA 5000



Attention: Mr Mark Adcock

Dear Mr Adcock

The following application is of a kind that requires consultation with Council under the Development Act, 1993.

Application: S10/1/2014/A

Applicant: WOODHEAD AUSTRALIA (SA) P/L

Address: 203-205 North Terrace, ADELAIDE SA 5000

Description: Vary previous authorisation construct 19 level mixed use building -
VARIATION - Internal work affecting State Heritage Place and
changes to southern facade.

Council has no comment to make on the above application.

Yours faithfully

Helen Dand

ACTING TEAM LEADER - PLANNING ASSESSMENT

ATTACHMENT 4

AGENCY COMMENTS



State Heritage Unit

Economic and Sustainable
Development Group

Level 9
81-91 Waymouth Street
Adelaide SA 5000

GPO Box 1047
Adelaide SA 5001
Australia
DX138

Ph: +61 8 8124 4960
Fax: +61 8 8124 4980

www.environment.sa.gov.au

Ref: SH/13367D

Date: 3 July 2017

Ms Alison Gill
Secretary
Development Assessment Commission
GPO Box 1815
ADELAIDE SA 5001
Attention: Gabrielle McMahon

Dear Ms McMahon

DESCRIPTION: OFFICE (FORMER DWELLING AND CONSULTING ROOMS) AND FORMER G & R WILLS WAREHOUSE – MIXED USE DEVELOPMENT – VARIATION TO DEVELOPMENT APPLICATION 020/0003/14A – INCLUDING INTERNAL WORKS AND CHANGES TO THE SOUTHERN FAÇADE – AFFECTING A STATE HERITAGE PLACE – 203 NORTH TERRACE, ADELAIDE

Application number: 020/3/14A V1
Referral received: 02/11/2015
Further information received 29/05/2017
State heritage place: Office (former Consulting Rooms) and former G & R Wills Warehouse, 203-207 North Terrace ADELAIDE

The above application has been referred to the Minister for Sustainability, Environment and Conservation in accordance with Section 37 of the *Development Act 1993* as development that directly affects a State heritage place or, in the opinion of the relevant authority, materially affects the context within which a State heritage place is situated.

Statement of heritage significance

The former G & R Wills warehouse at 203-205 North Terrace and the adjacent neo-Gothic building to the east at 206-207 North Terrace were jointly entered in the SA Heritage Register in 1986 as 'Office (former Dwelling and Consulting Rooms) and former G & R Wills Warehouse'. The former Gallerie shopping centre building to the west (an earlier section of the former G & R Wills warehouse) is separately entered in the SA Heritage Register.

The following is an extract from the Statement of Significance in the SA Heritage Register, insofar as it pertains to the subject building at 203-205 North Terrace (ie excluding material pertaining to the neo-Gothic building at 206-207 North Terrace).

The former warehouse (1878), is historically significant for its direct association with the large South Australian merchant firm of G & R Wills & Co. Founded in 1849, the company traded throughout Australia, with branches in three States, as well as extensive Adelaide operations including clothing and shoe factories and their import business.

Designed by Daniel Garlick, the three-storey building is of masonry construction with classical Italianate stucco detailing which is particularly decorative for a commercial building.

Its architectural significance is enhanced by the high integrity of both the exterior and interior, with most of the fabric remaining in near original condition. Slender cast iron columns allow undivided space on all three floors, and are an important feature of the interiors.

The warehouse forms a pair with a similar building located on its western side, which was constructed for G & R Wills & Co some years earlier.

[Adapted from: Danvers Architects Pty Ltd '203-7 North Terrace, Adelaide Conservation Study' March 1989]

Heritage impact

a) Proposed demolition of extant internal structure including original floors and columns

The following informal comment was provided in January 2016 in response to the proposed variation of DA 020/3/14 A for demolition of the internal structure of the State heritage place.

- *This is a fundamentally different proposal in its impact on the physical integrity of the State heritage place. The approved scheme retains the rear section of the ground floor structure in situ, and the whole first floor structure except where penetrated by voids. The variation proposal removes the internal structure in its entirety. The constructional integrity of the building is lost, other than its external walls.*
- *The cladding of new concrete slabs, steel beams and soffits in salvaged floorboards and ceiling linings is a superficial approach focussed on an approximation of historic visual character but with no regard for the heritage values inherent in the original construction and fabric of the place. A suitable approach (without knowing what may have been considered by the team) would be strategies such as splicing the ends of bearers into steel sprockets set into the wall pockets (to manage termite entry), and using salvaged timbers to the maximum extent possible for spliced repairs to damaged timbers. There may be others.*
- *The partial re-use of original columns and the expression of original bearer profiles is unconvincing and misrepresentational, because it does not align with the original structural grid of the building, and there is even a lack of consistency between the ground floor and first floor column grids.*
- *Had this variation proposal been submitted as the initial application, it would not have received heritage support. The loss of the internal structure and fabric of the former warehouse constitutes a major impact on the heritage values embodied in the place.*

In the recent amendment of the 2015 variation proposal, the recycling of salvaged floorboards on new concrete slabs remains but the ceiling linings are now proposed as single-plane flushed plasterboard, and the re-use of original columns is deleted. The proposal fails to address the heritage impact inherent in this major loss of heritage fabric, constructional integrity and historic character. The recent amendments reduce the opportunities for visually interpreting the original internal construction and character to just the floorboards, which are ubiquitous in many historic buildings and are the least representational or distinctive feature of the G & R Wills warehouse's particular construction type.

The heritage values of the building are embodied both in the architectural qualities of its North Terrace frontage and in the ability of its extant fabric to represent its warehouse function. The latter quality is expressed principally by the building's internal fabric, spatial qualities and historic character. The loss of all internal structure and fabric as proposed by this variation constitutes a major impact on its heritage values.

The initial project was described as 'adaptive re-use' of the State heritage place. The equivalent term used in the Burra Charter is 'adaptation', to which the following Articles apply.

- 21.1 *Adaptation* is acceptable only where the adaptation has minimal impact on the *cultural significance* of the *place*.
- 21.2 *Adaptation* should involve minimal change to significant *fabric*, achieved only after considering alternatives.

Explanatory notes: Adaptation may involve additions to the place, the introduction of new services, or a new use, or changes to safeguard the place. Adaptation of a place for a new use is often referred to as 'adaptive re-use' and should be consistent with Article 7.2.

- 7.2 A *place* should have a *compatible use*.
- 1.11 *Compatible use* means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

The variation proposal differs fundamentally from the approved scheme in this respect, retaining only the masonry shell of the place, and none of the material expression of its historically significant construction and use as a warehouse.

The 2015 termite report does not detail the extent of damage at that time, and it is unclear whether a program was to be initiated to manage the problem and limit ongoing damage. There is no related information in the variation application identifying what control or management measures have been taken since the problem first came to light in an attempt to arrest damage.

Related issues such as a blocked and overflowing box gutter on the eastern boundary have not been addressed, resulting in falling damp to the eastern wall that will have been conducive to ongoing termite activity and is also affecting the neighbouring State heritage place.

With reference to the second dot point above, it is not evident in the variation application what alternatives might have been considered with the aim of majority retention of extant original fabric.

Heritage recommendation:	Not supported
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b) Proposed partial demolition of rear (southern) wall to accommodate re-aligned car lift

The following informal comment was provided in January 2016 in response to the proposed variation to DA 020/3/14 A for the car lift. The proposal remains unchanged from what was presented then.

- The cutting out of the rear wall to set the car lift shaft back is of a relatively minor impact, and could be tolerated given an appropriate solution to the internal structure.*

The southern wall is contained within a light well with very limited visibility. The removal of a vertical strip of the wall to allow re-alignment of the car lift would have no impact on the architectural values of the place, and its impact on the representational values of the place as a warehouse would be minor.

Heritage recommendation:	Supported subject to a condition requiring further detail (see below)
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c) Proposed additional stair between upper ground floor and first floor level

The following informal comment was provided in February 2016 in response to the proposed variation to DA 020/3/14 A for the internal stair. The proposal remains unchanged from what was presented then.

- Having had a closer look at the proposed new stair and bulkhead, I think there might be ways of achieving these aims in a more heritage-friendly manner. As a former warehouse building, the simplicity and openness of the internal spaces is of high representative value, and should be preserved as much as possible.*
- If a stair from the raised ground floor to first floor level is desired, I think it should happen in the same central location as the current stair. This would be consistent with the assumed location of the original stairs, and would avoid the need for an additional void, thereby keeping the first floor level more intact. Given the relatively small floor area of the upper ground floor, reducing the current double-width stair to a single flight (egress requirements permitting) would leave space for the additional stair up to the first floor within a void of similar size to the existing.*

As outlined above, an interpretation of the original (removed) central stair connecting ground and first floor is preferred as a heritage outcome. As currently proposed, the stair under the central skylight connects the lower and upper ground floor levels, with the additional stair diagonally offset. In this location, it detracts from the central stair's ability to

interpret the original layout, and increases the degree of intrusion into the originally open floor space.

Heritage recommendation:	Supported subject to a condition requiring investigation of a single central stair (see below)
--------------------------	--

d) Proposed mechanical services bulkhead to upper ground floor

The following informal advice was provided in February 2016 in response to the proposed variation to DA 020/3/14 A for the ground floor bulkhead.

- *As for the bulkhead, it would be preferable from a heritage point of view to expose the services. This would be more in keeping with the nature of the building, and leaves the space more visually open.*

The extent of the bulkhead is considerably reduced in the current amendment compared to the extent indicated in the initial variation proposal, and is shown as being contained within the proposed amenities zone for the upper ground floor. In this amended form, its heritage impact in both a material and a visual sense would be negligible.

Heritage recommendation:	Supported
--------------------------	-----------

Recommendation

- A. The following component of the proposed variation is considered to seriously diminish the heritage significance of the State heritage place, and is not supported on heritage grounds for the reasons outlined above at a).**

- **Proposed demolition of extant internal structure including original floors and columns**

In the event that the Development Assessment Commission should determine support for this component of the variation works, any consent or approval should incorporate conditions developed in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources) pertaining to archival recording, deconstruction, salvage, storage, protection and future use of removed fabric.

- B. The following components of the proposed variation are considered to have a relatively minor impact on the heritage significance of the State heritage place, and are supported subject to conditions 1 and 2 below, for the reasons outlined above at b) and c).**

- **Proposed partial demolition of rear (southern) wall to accommodate re-aligned car lift**
- **Proposed additional stair between upper ground floor and first floor level**

Condition 1: Prior to commencement of works to remove a section of the southern wall to accommodate the car lift shaft, details of the following particulars shall be submitted to the satisfaction of the planning authority in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources).

- **Work method statement for removal of masonry and support of retained masonry**
- **Making good and finishing of retained edge at junction with car lift shaft**
- **Finish to exposed face of car lift shaft including interpretation of removed fabric and features such as openings**

Condition 2: Prior to the forming of voids in the first floor structure and pouring of footings for the central stair (lower ground to upper ground), further investigation shall be undertaken and documented to the satisfaction of the planning authority in consultation with the State Heritage Unit (Department of Environment, Water and Natural Resources) into a combined central stair connecting lower ground, upper ground and first floor levels.

General notes

1. Any changes to the proposal for which planning consent is sought or granted may give rise to heritage impacts requiring further consultation with the Department of Environment, Water and Natural Resources, or an additional referral to the Minister for Sustainability, Environment and Conservation. Such changes would include for example (a) an application to vary the planning consent, or (b) Building Rules documentation that incorporates differences from the proposal as documented in the planning application.
2. To ensure a satisfactory heritage outcome, the Commission is requested to consult the Department of Environment, Water and Natural Resources in finalising any conditions or reserved matters above.
3. In accordance with Regulation 43 of the *Development Regulations 2008*, please send the Department of Environment, Water and Natural Resources a copy of the Decision Notification.
4. The Commission is requested to inform the applicant of the following requirements of the *Heritage Places Act 1993*.
 - (a) If an archaeological artefact believed to be of heritage significance is encountered during excavation works, disturbance in the vicinity shall cease and the SA Heritage Council shall be notified.
 - (b) Where it is known in advance (or there is reasonable cause to suspect) that significant archaeological artefacts may be encountered, a permit is required prior to commencing excavation works.

For further information, contact the Department of Environment, Water and Natural Resources.
5. The Commission is requested to inform the applicant of the following requirements of the *Aboriginal Heritage Act 1988*.
 - (a) If Aboriginal sites, objects or remains are discovered during excavation works, the Aboriginal Heritage Branch of the Aboriginal Affairs and Reconciliation Division of the Department of the Premier and Cabinet (as delegate of the Minister) should be notified under Section 20 of the *Aboriginal Heritage Act 1988*.

For any enquiries in relation to this application, I can be contacted on telephone 8124 4935 or e-mail peter.wells@sa.gov.au.

Yours sincerely



Peter Wells

Principal Conservation Architect

DEPARTMENT OF ENVIRONMENT, WATER AND NATURAL RESOURCES

as delegate of the

MINISTER FOR SUSTAINABILITY, ENVIRONMENT AND CONSERVATION

File No:
2014/11234/01

10 February 2016

Ref No:
10214407

Gabrielle McMahon
Case Manager
Department of Planning, Transport and Infrastructure
Roma Mitchell House
136 North Terrace
Adelaide SA 5000

For the attention of the Development Assessment Commission

203 North Terrace, Adelaide

Further to the referral DA749 – 020/0003/14A V1 10 November 2015 pertaining to the development application at the above address and in my capacity as a statutory referral in the Development Assessment Commission, I would like to offer the following comments for your consideration.

The project was presented to the Capital City Design Review Panel and progressed significantly over two design review panels and a further two desktop reviews. The proposal obtained a Pre-Lodgement Agreement with the Government Architect (reference PLA 2013/03827).

The documents describe detailed methodology relating to the internal structure of the existing State Heritage listed structure. The extent of this change has not affected the substance of the proposal referred to in the PLA.

In considering the material supplied with the formal referral and evaluating the design merit of the project on the whole, I continue to support the proposal.

Yours sincerely



Kirsteen Mackay
South Australian Government Architect

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26-28 Leigh Street
GPO Box 1533
Adelaide SA 5001

DX 171

T- +61(0)8 8402 1884
E- odasa@sa.gov.au



ATTACHMENT 5

ADDITIONAL INFORMATION



Friday, May 26, 2017

Gabrielle McMahon
Principal Planner – Major Development and Crown
Strategic Development Assessment
Planning and Development
Department of Planning, Transport and Infrastructure
Level 5, 50 Flinders Street, Adelaide SA 5000
PO Box 1815 Adelaide SA 5001

DA153172

Further Amendments to DA 020/0003/14A for Proposed Redevelopment of 203 North Terrace, Adelaide

Dear Gabrielle,

Further to: the application to vary DA020/0003/14A dated 12 October 2015 (Variation Application); the subsequent advice from the DAC and the State Heritage Unit (contained within an email from Gabrielle McMahon to Nello Rebuli of GHD Woodhead, dated 12 January 2016); and a recent meeting between the Applicant and senior DAC staff (date unknown by author), the Applicant and the Design Team, have reconsidered the Variation Application and provide the following comments.

As you would appreciate, there is often a requirement to seek Approval to amend a Development Plan Consent to allow for unforeseen changes that have arisen out of issues that have been identified, and thus need to be addressed, as part of the detailed design and documentation of a project. Indeed, there are often similar issues that arise once construction starts. This is an unavoidable consequence of the nature of the process. In my experience, this type of change is more prevalent in adaptive reuse projects than in new builds. I have also found that they can be more difficult to resolve where the building to be reused has a heritage listing. Such has been the case for this project.

Based on the Feedback provided, we understand that the State Heritage Unit, and thus DAC, has concerns relating to:

- the proposed removal of the remainder of the internal structure of the building;
- the proposed approach to 'cladding' the proposed new internal structure; and
- the proposed reuse of original elements in 'non-original' location.

We understand that, other than in relation to the concerns raised above, the State Heritage Unit and DAC are generally comfortable with the remainder of the proposed changes.

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As presented previously by GHD Woodhead, the changes sought as part of the Application are aimed at addressing:

- Constructability issues;
- Extensive white ant damage to the remaining structure;
- Long term maintenance and serviceability issues, relating to protecting the structure from white ants; and
- Integration of services (and particularly mechanical services) within the lower floors of the building.

These issues have arisen as part of the Detailed Design process. The Design Team can provide further detail around them if required.

The Applicant acknowledges and understands that the original DPC was a result of extensive discussions and 'negotiations' between the Applicant and its Design Team, and DAC and its referral agencies (most notable of which, in this instance, was the State Heritage Unit). The applicant also acknowledges that the 'package' of work described by the Original DPC was a compromise for all parties and that it achieved a 'balance'. Having provided Heritage Advice to the Applicant and Design Team at various stages through the process, I am also acutely aware of this.

Notwithstanding this, having considered the feedback and the above issues, the Applicant and the Design Team have formed a view that the fundamental approach proposed as part of the Variation Application, that is the removal of the remaining internal structure and its replacement with a modern structure, cannot be economically avoided.

While other alternatives, such as those suggested by the State Heritage Unit, may be possible, the impact of some of these alternative approaches would be to undermine the financial viability of the project.

Within that context, the Applicant and the Design Team have however considered other suggestions made by the State Heritage Unit and have therefore proposed the following further amendments to the Application aimed at incorporating the suggestions. The proposed further changes are:

- A simple, modern approach to the ceiling 'cladding' of the new structure, while maintaining the proposed reuse of floor boards; and
- Deletion of the proposed columns within the space (both new and reused).

These changes are described further in GHD Woodhead letter titled "DA 020/0003/14A Planning Approval Variations", dated 18.5.2017 (attached).

This approach will mean that new elements will be readily interpretable and will contrast with, and thus highlight, the retained original elements (the external walls).

Given the time that has passed since the Variation Application was lodged, and the uncertainty regarding its success, and again acknowledging that the Variation Application, even with the

amendments above, does not address all the concerns raised by the State Heritage Unit, the Applicant asks that it be considered as submitted.

While we trust that the above, and attached GHD Woodhead letter, are sufficient for DAC to assess the Variation Application, we would be happy to provide further written or verbal support to it as required,

Yours sincerely,

A handwritten signature in black ink, appearing to read 'David Holland', with a stylized, cursive script.

David Holland
Director
DASH Architects

Cc – Mr Steve Moreau, CATCON (email)
Mr Nello Rebuli, GHD Woodhead (email)

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GHD Pty Ltd
ABN 39 008 488 373

Development Assessment Commission
Attn: Gabrielle McMahon
GPO Box 1815
Adelaide SA 5001

Our ref: 59078
18 May 2017

Dear Madam

DA 020/0003/14A
Planning Approval Variations

We write to outline amendments to the design from that originally submitted with the Planning Approval documentation. These variations have occurred during the design development and detailed documentation stages of the project.

The changes are summarised as follows:

1. Amendments to the structural retention methodology;
2. Position of the car lift shaft within the southern stone wall (light well);
3. Bulkhead along eastern wall for mechanical and hydraulic installations; and
4. Feature stair from Ground Level to Level 1.

The following drawings and documents have been included with this letter:

- DA Variation application form
- 33-17640 A-0102 – GA PLAN GROUND & LEVEL 1 Rev D
- 33-17640 A-0201 – RC PLAN LEVELS STREET, GROUND AND 1 Rev C
- 33-17640 A-0301 – FINISHES PLAN & ELEVATIONS Rev C
- 33-17640 A-0304 – INTERNAL ELEVATIONS GROUND & LEVEL 1 Rev B
- 33-17640 A-0403 – PART ELEVATION SOUTH Rev C
- 33-17640 A-0460 – SECTION A LOWER Rev C
- 33-17640 A-0553 – STAIR DETAILS SHEET 4 Rev D
- 33-17640 A-0656 – SECTION DETAILS Rev B
- 33-17640 A-0677 – PLAN DETAILS 3 Rev C
- 'WAD121048 RevA 31/08/15 Structural Methodology for Heritage Retention Utilising Temp Bracing.
- WAD1211048 S1.20C
- Adelaide Pest Control Report

1. Amendments to the structural retention methodology.

This has arisen to address the damage to the existing structural timber caused by the incursion of termites, as first discussed in a meeting (conducted 28/07/15) involving the client, project team, Jason Bailey and Peter Wells. It was identified that a large proportion of structural and non-structural timber, had been damaged throughout the building. The original methodology entailed the utilization of this timber floor and column structure and integrated the preservation of these elements within the overall structural solution.

A report by Adelaide Pest Control (see attached) has identified that a long-term commercial warranty from a certified termite eradication contractor cannot be provided. As a result, it is proposed that a new structural steel and concrete slab solution for both Level 1 and the southern portion of Ground Level be employed, thus providing definite surety for the long term commercial viability of the building. Find the revised structural support methodology document attached 'Structural Methodology for Heritage Retention Utilising Temp Bracing'.

Beyond the revised structural solution for these floors and in the provision of fit out, we consider the most honest design approach in a modern commercial interior space is to provide for clean modern finishes and linings. A new flush plasterboard ceiling at constant level will be suspended below the first floor slab with an expressive treatment at the junction with the old stone walls (as per detail on drawing A0656). This is a contemporary approach that pays respect to the old stone structure allowing it to be featured as an important element and texture within the whole interior scheme. Together with the reuse of the old timber floor boards for the same reason, this approach adds real value and differentiation to the marketability of the space as tenants are sought to make commitment. The cosmetic reinstatement of the old cast iron and timber columns, and the formation of interpretive bearers into the ceiling profile is viewed as a forced solution that provides no real practical or aesthetic benefit to the spaces in question. The solution involves:

- The existing timber boards, skirtings and architraves are to be salvaged, assessed for damage, cleaned and reused over the new slab wherever possible;
- In demolishing the existing structure, we propose to carefully remove and salvage the old cast iron and timber columns on lower, ground and first floors; and the old bearers/joists supporting ground and first floor. Then record and store these original elements for possible reinstatement at a future time.

Note that this item will also affect Conditions 2 and 3 in the Decision Notification Form (Revision 2), to be addressed in separate correspondence.

2. Position of the car lift shaft within the southern stone wall.

Also discussed in some detail at the above mentioned meeting was the issue of the position of the car lift shaft in relation to the southern façade, driven by the need to obtain compliance with AS 2890.1:2004 and to create sufficient vehicle turning space in the affected floors.

In discussions at the meeting referred to above it was suggested that the expression of the concrete shaft on the southern façade may be deemed acceptable given the visual (and physical) isolation of the wall. The attached drawings 33-17640 A-0403 and detail on 33-17640 A-0677 convey this intent, with the lift shaft texture painted and the edge of stonework expressed with repaired and repointed stone dowelled into the new concrete shaft. Note that

the site title boundary to the light well easement is concurrent with the southern edge of the wall thus limiting any ability to overhang the lift shaft beyond the stone face.

3. Bulkhead along eastern wall for mechanical and hydraulic installations

In order to make provision for future exhaust and mechanical fit out within the Ground floor as shown on drawings 33-17640 A-0201 ceiling plan and 33-17640 A-0403 south elevation. A drop ceiling is proposed just south of the lift core to accommodate the air conditioning unit which is being installed as part of the base build works. This zone will also be utilized for amenities on L1 as part of any future tenancy leasing negotiations.

4. Feature stair from Ground Level to Level 1.

A feature stair has been incorporated to create a direct link between Ground and Level 1. This is proposed because Ground floor provides a small tenancy space and in order to make it more commercially viable a direct connection has been made with Level 1. Refer to the drawings attached and specifically 33-17640 A-0553 for details.

We trust the information provided is to your satisfaction, please contact the undersigned with any queries.

Sincerely
GHDWoodhead Pty Ltd



Nello Rebuli

Senior Associate Architect

08 8111 6964

-encl documents noted

-cc Steve Moreau

Jim Williams

David Holland

DEVELOPMENT APPLICATION FORM

PLEASE USE BLOCK LETTERS

COUNCIL: ACC.

APPLICANT: CATCON.

Postal Address: 598-600 SOUTH RD. ANGLE PARK. SA. 5010

Owner: CATCON.

Postal Address: AS ABOVE.

BUILDER: TBA.

Postal Address: _____

Licence No: _____

CONTACT PERSON FOR FURTHER INFORMATION

Name: NELO REBU.

Telephone: 81116964 [work] _____ [Ah]

Fax: _____ [work] _____ [Ah]

EXISTING USE: N/A.

FOR OFFICE USE

Development No: _____

Previous Development No: _____

Assessment No: _____

- ☐ Complying
☐ Non Complying
☐ Notification Cat 2
☐ Notification Cat 3
☐ Referrals/Concurrences
☐ DA Commission

Application forwarded to DA

Commission/Council on

/ /

Decision: _____

Type: _____

Date: / /

	Decision required	Fees	Receipt No	Date
Planning:	_____	_____	_____	_____
Building:	_____	_____	_____	_____
Land Division:	_____	_____	_____	_____
Additional:	_____	_____	_____	_____
Development Approval	_____	_____	_____	_____

DESCRIPTION OF PROPOSED DEVELOPMENT: MIXED USE DEVELOPMENT

LOCATION OF PROPOSED DEVELOPMENT: 201 NORTH TERRACE, ADELAIDE.

House No: 203 Lot No: 2 Street: NORTH TCE. Town/Suburb: ADELAIDE

Section No [full/part]: 2373 Hundred: ADELAIDE. Volume: 553. Folio: 314.

Section No [full/part]: _____ Hundred: _____ Volume: _____ Folio: _____

LAND DIVISION

Site Area [m²]: _____ Reserve Area [m²]: _____ No of existing allotments: 1

Number of existing allotments (excluding road and reserve): _____ YES ☐ NO ☐

CLASSIFICATION SOUGHT: N/A. Present classification: N/A.

If Class 9a classification is sought, state the proposed number of employees: _____ Male: _____ Female: _____

If Class 9a classification is sought, state the number of persons for whom accommodation is provided: N/A.

If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises: N/A.

DOES EITHER SCHEDULE 21 OR 22 OF THE DEVELOPMENT REGULATIONS 2008 APPLY? YES ☐ NO ☒

HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 2008 LEVY BEEN PAID? YES ☐ NO ☒

DEVELOPMENT COST (do not include any about costs): \$ 20M.

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Regulations 2008.

SIGNATURE: NELO REBU.

Dated: 12 / 10 / 15.

FOR A MIXED USE DEVELOPMENT WORK AFFECTING FACTORS TO SOUTHERN HERITAGE PLACE

APPROVAL NO 2010003/14A

FOR A MIXED USE DEVELOPMENT WORK AFFECTING FACTORS TO SOUTHERN HERITAGE PLACE



PT-11 WET AREA
6 mm FC SHEET / 76 mm STUD / 6 mm FC SHEET
FR 120/120/120

PT-12 2 x 16 mm FYRCHKE / 150 x 1.15 mm STUD / 2 x 16 mm FYRCHKE
FR -60/60

PT-14 6 mm FC / 1 x 13 mm FYRCHKE / 150 X 1.15 mm STUD / 1 x 13 mm FYRCHKE
PARTITION

PT-15 13 mm PLASTERBOARD / 150 mm STUD / 13 mm PLASTERBOARD
FR PRESSURIZATION DUCT LINING

PT-16 2 x 16 mm FYRCHKE / 76 mm STUD / -
FR 2 WAY IN BOTH DIRECTIONS -240/240
125 mm AAC POWERPANEL

PT-17 WET AREA
6 mm FC SHEET / 76 mm STUD / -

PT-18 WET AREA-NON WET AREA
6 mm FC SHEET / 76 mm STUD / 13 mm PLASTERBOARD

PT-19 CAVITY SLIDER PARTITION
13 mm PLASTERBOARD / 92 mm STUD / 6 mm FC SHEET
AMENITY PARTITIONS

PT-21 COMPACT LAMINATE
FR -60/60
AAC + FC SHEET

2 x 16 mm PYRCEK®/FURRING

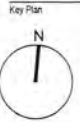
PT.21

COMPACT LAMINATE
FR -60950
AAG - FC - SET

020/0003/14A

VARIATION TO DA

33-17640 A-0102 D



C	DAC RESUBMISSION	18.05.2017
B	ISSUED FOR BUILDING RULES ASSESSMENT	18.10.2015
A	ISSUED FOR 90%	15.09.2015
Issue	Revision Description	Date

Client
catcon
civil & allied technical construction
CATCON
508-800 South Road, Angle Park, SA 5010

Architects
GHDWOODHEAD

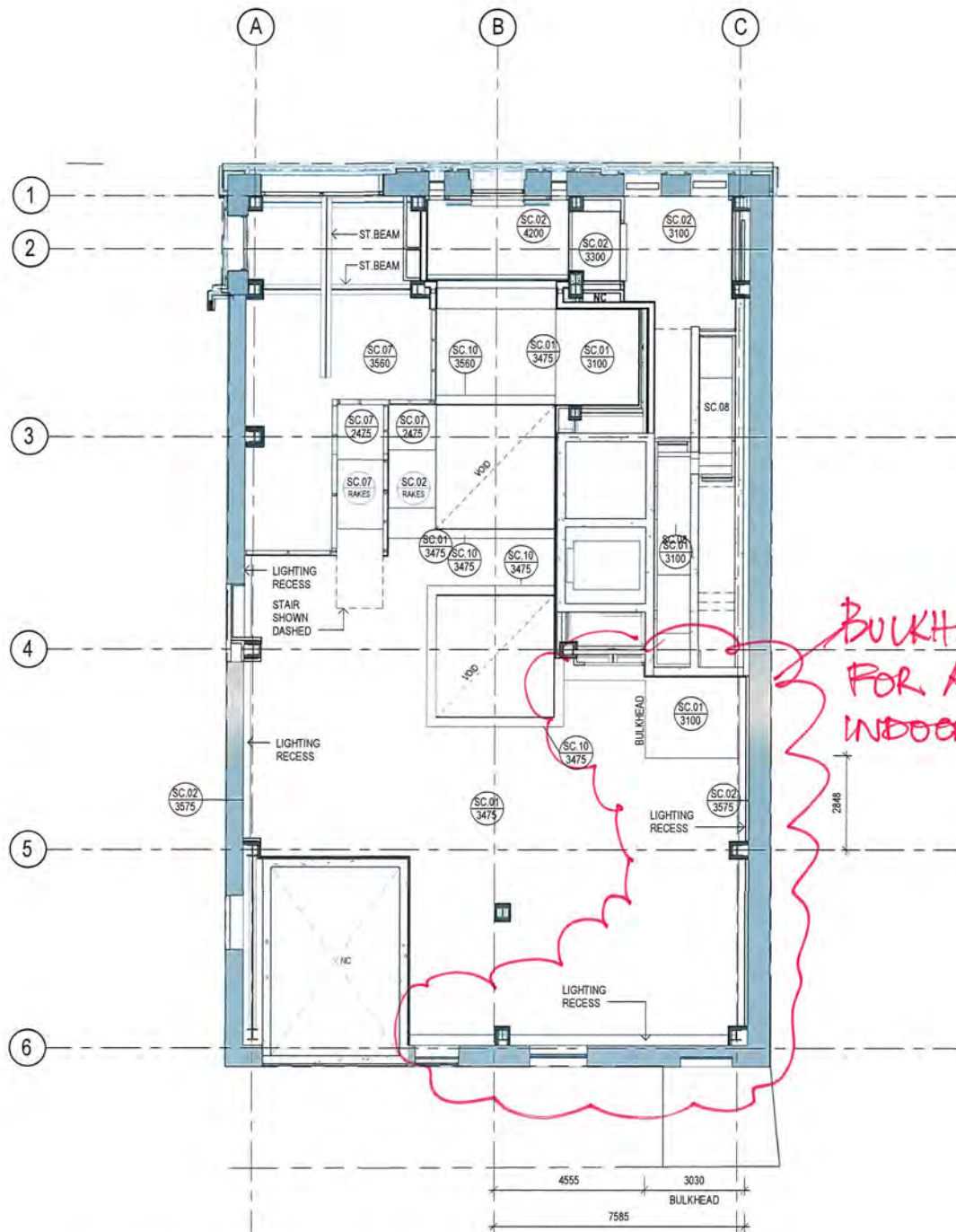
Level 4, 211 Victoria Square Adelaide SA 5000 Australia
GPO Box 2052 Adelaide SA 5001
T 61 8 8111 6600 F 61 8 8111 6699
E admin@ghd.com W www.ghd.com

Checked: NR
Drawing Coordinated: IPS
Drawing Director Approval: JW
Project Description:

203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number: 33-17640
Drawing Title: RC PLAN - LEVELS STREET / GROUND & LEVEL 01
Drawing Number: 33-17640 A-0201
Scale: 1:100
Original Size: A1
Issue: C

33-17640 A-0201 C



1 LEVELS STREET & GROUND RCP
A-0400 1:100

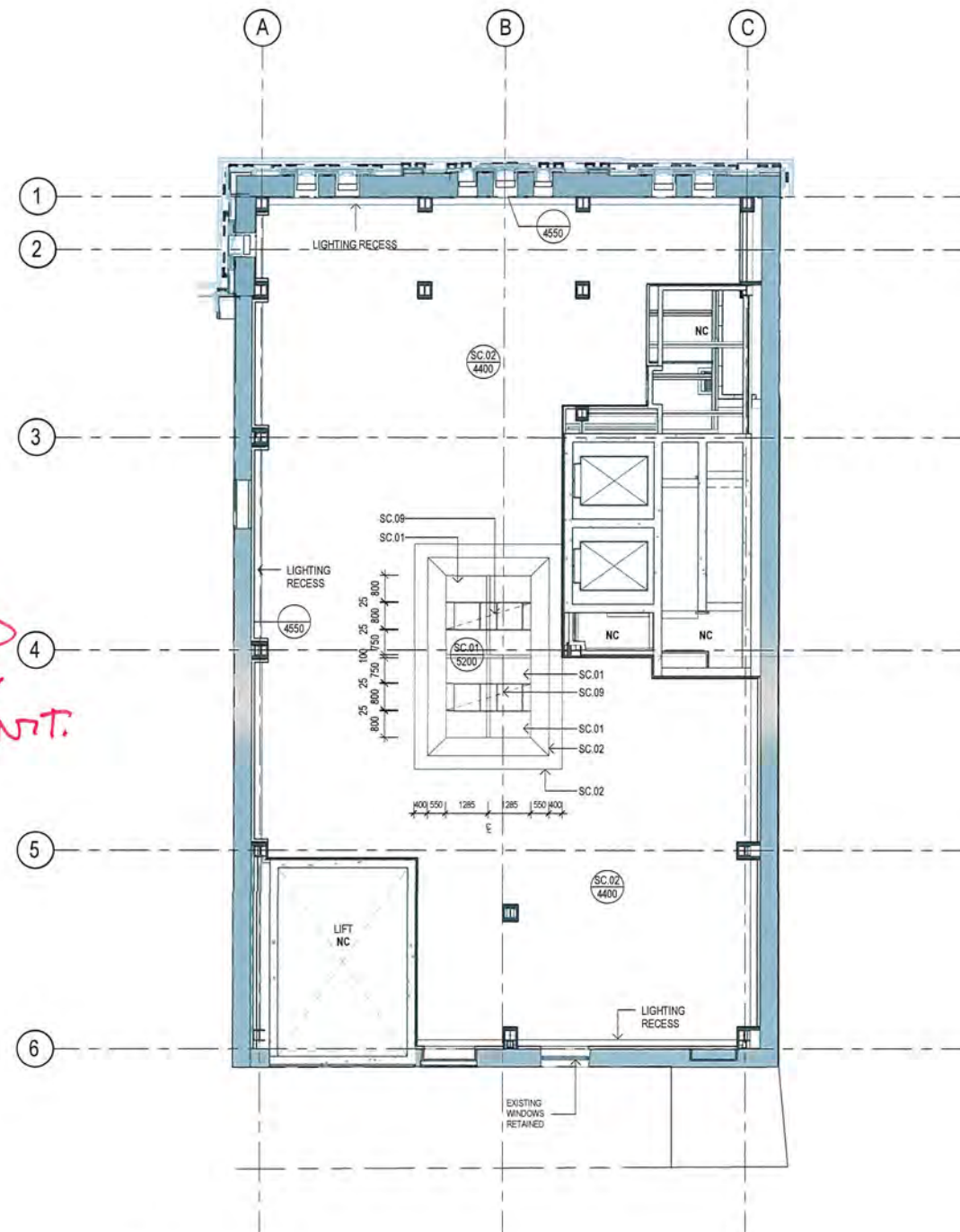
LEGEND

- CEILING MATERIAL ITEM CODE
HEIGHT ABOVE FFL
- UNDER SIDE OF ROOF
RAKED
- NC NO CEILING

NOTES

- LEVEL 17 APARTMENT CEILING, 200mm HIGHER THAN ALL HEIGHTS OTHERWISE INDICATED FOR TYPICAL CEILING
- PERIMETER LIGHTING RECESS TO L1 AND GROUND CEILINGS, NOM 200mm WIDE x 100mm

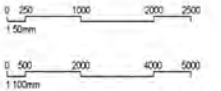
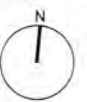
VARIATION TO DA 020/0003/14A.



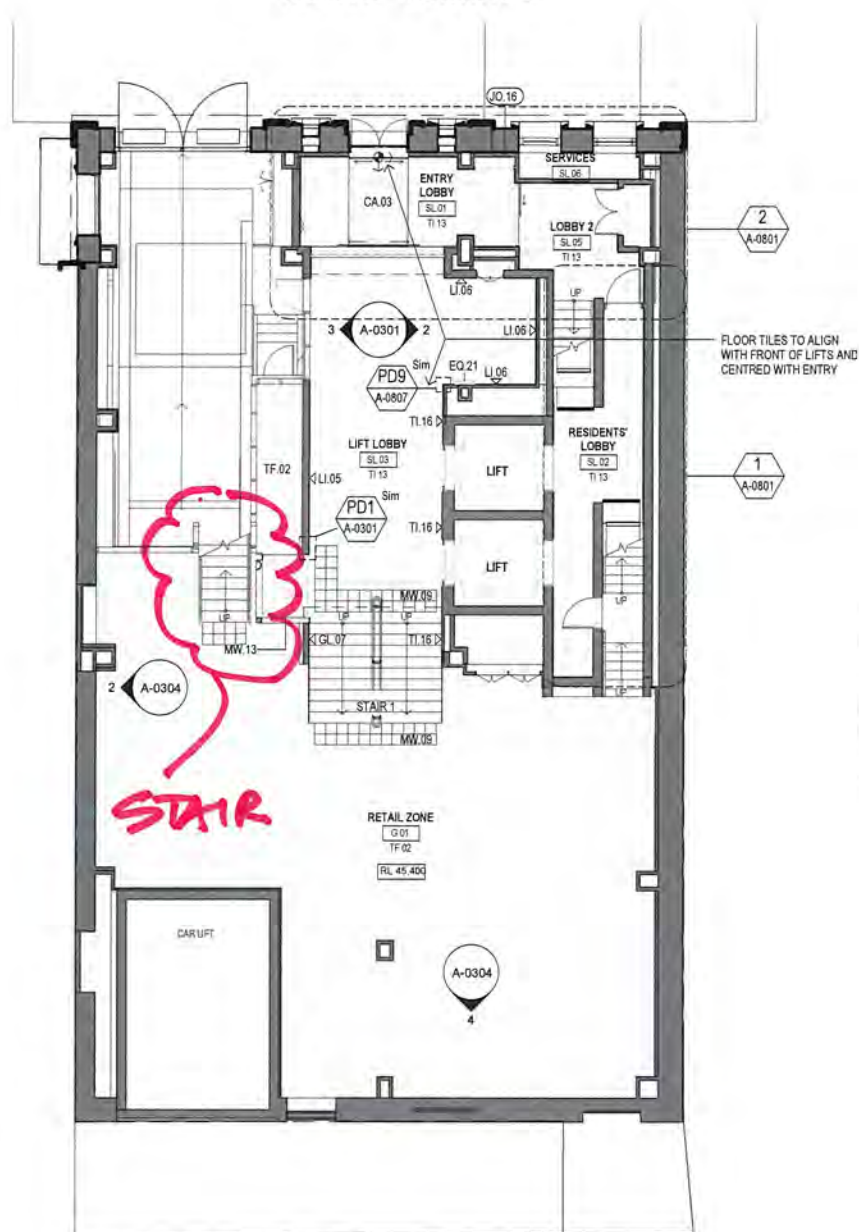
2 LEVEL 01 RCP
A-0400 1:100

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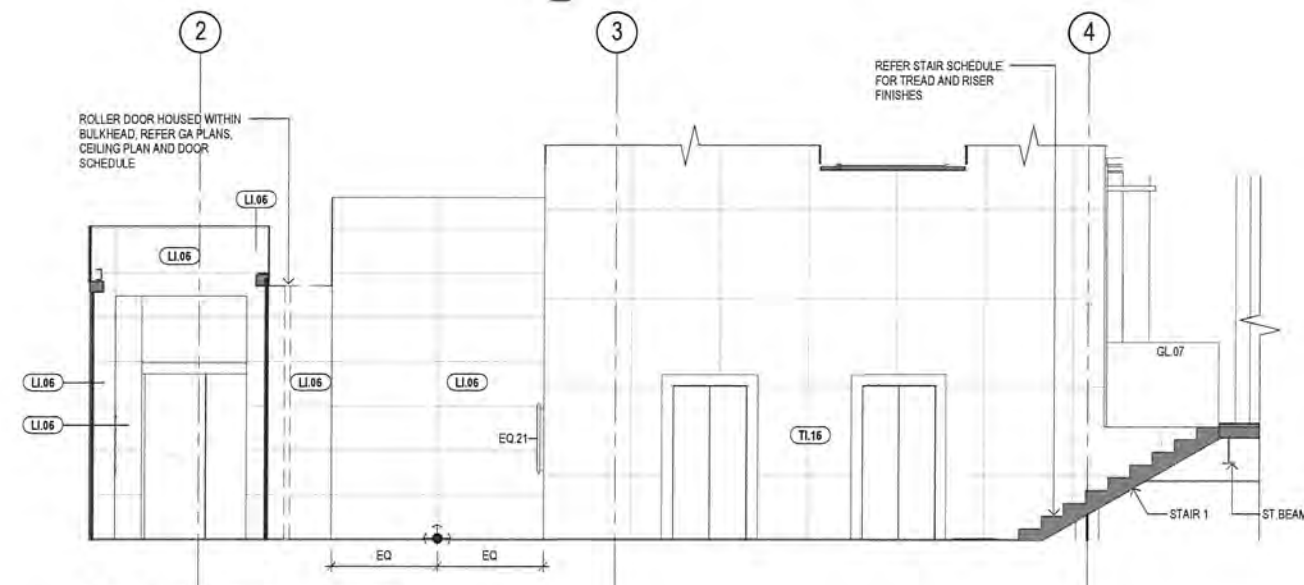
Key Plan



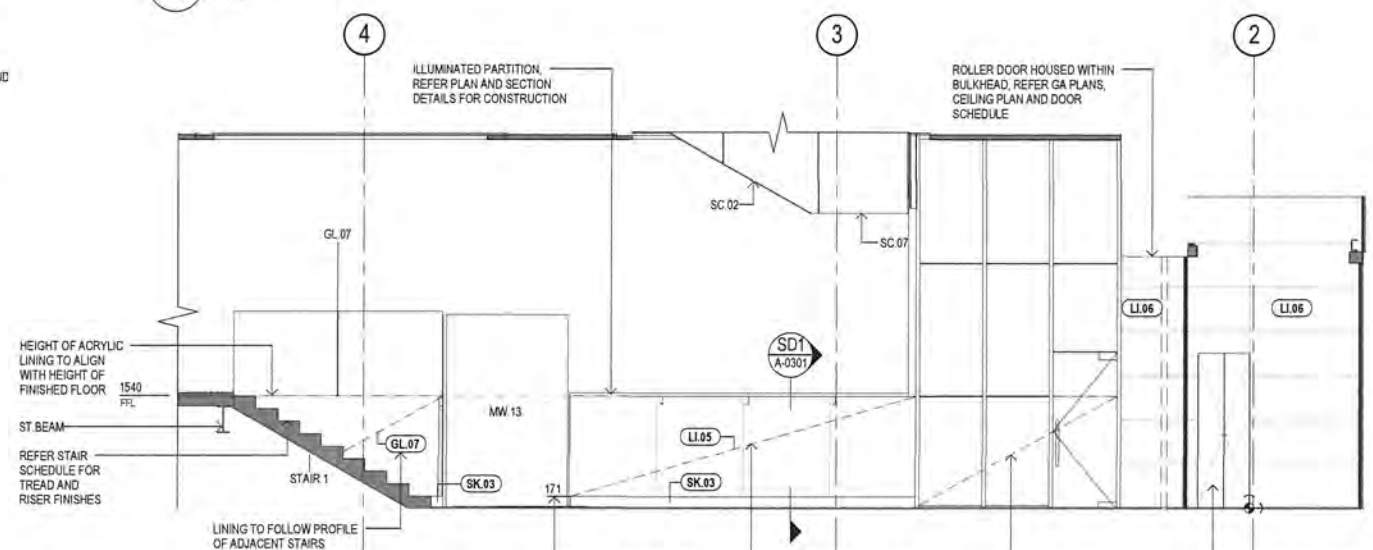
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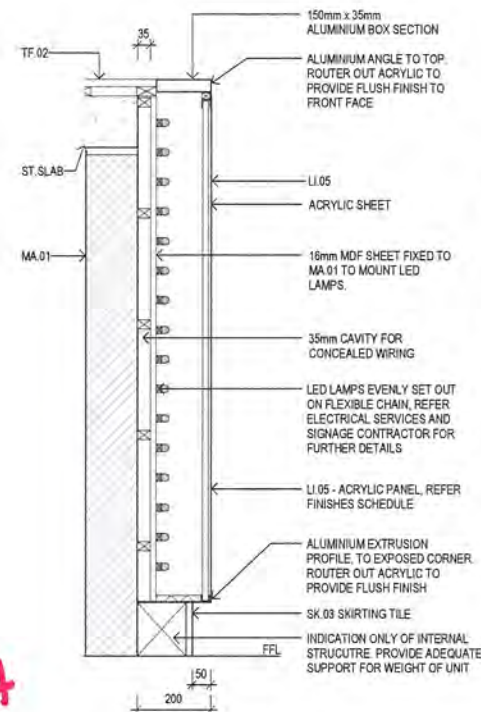
1 LEVEL STREET & GROUND FINISHES PLAN
A-0400 1:100



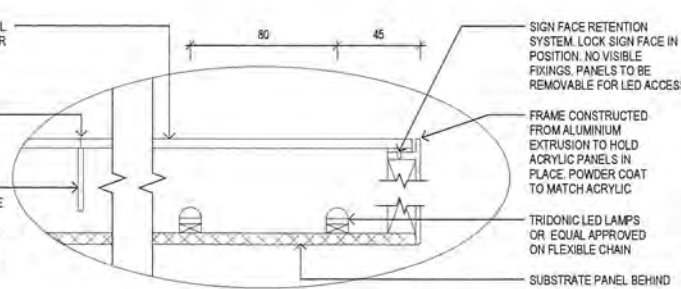
2 ELEVATION 1 - LIFT LOBBY
A-0301 1:50



3 ELEVATION 3 - LIFT LOBBY
A-0301 1:50



SD.1 SECTION DETAIL - ILLUMINATED PANEL
A-0301 1:10



PD.1 PLAN DETAIL - ILLUMINATED PTN
A-0301 1:2

INTERIOR WALL FINISHES LEGEND

LI.01	GLASS SPLASHBACK
LI.02	MIRROR
LI.05	ACRYLIC PANEL
LI.06	STONE WALL PANEL
SK.02	SKIRTING FLAT METAL
SK.03	SKIRTING TILE (LOBBY)
SO.01	CAESARSTONE SPLASHBACK
SO.02	CAESARSTONE SPLASHBACK
TI.06	WALL TILE
TI.07	FEATURE WALL TILE
TI.08	WALL TILE
TI.09	FEATURE WALL TILE
TI.10	WALL TILE
TI.11	TILE SPLASHBACK
TI.12	WALL TILE
TI.15	WALL TILE (OFFICES)
TI.16	ACRYLIC WALL LINING
TI.17	SKIRTING TILE (OFFICES)

FLOOR FINISHES LEGEND

CA.01	CARPET (APARTMENTS)
CA.02	CARPET (OFFICES)
CA.03	ENTRY MAT
TF.01	TIMBER FLOOR (APARTMENTS)
TF.02	TIMBER FLOOR BOARDS
TI.01	FLOOR TILE
TI.02	FLOOR TILE
TI.03	FLOOR TILE
TI.04	FLOOR TILE
TI.13	FLOOR TILE (LOBBY)
TI.14	FLOOR TILE (OFFICES)

C	DAI RESUBMISSION	16.05.2017
B	ISSUED FOR BUILDING RULES ASSESSMENT	18.10.2015
A	ISSUED FOR 90%	15.06.2015
Issue	Revision Description	Date

FINISHES NOTES

- TO BE READ IN CONJUNCTION WITH SCHEDULES AND THE TECHNICAL SPECIFICATION.
- ALL PLASTERBOARD PARTITIONS TO BE PAINTED PA.01 UNLESS INDICATED OTHERWISE.
- ALL PARTITION LININGS TO BE PAINTED PLASTERBOARD UNLESS CODED OTHERWISE. REFER PARTITION SCHEDULE FOR GENERAL LININGS AND FINISHES SCHEDULE FOR ALL APPLIED LININGS.
- REFER TO INTERNAL ELEVATIONS FOR ADDITIONAL APPLIED FINISHES AND LININGS.
- ALL INTERNAL TIMBER DOOR LEAVES TO BE PAINTED PA.xx UNLESS INDICATED OTHERWISE.
- ALL INTERNAL STEEL DOOR FRAMES TO BE PAINTED PA.xx UNLESS INDICATED OTHERWISE.
- ENSURE IMPERVIOUS JUNCTION BETWEEN EACH FLOOR FINISH. SCREED WHERE REQUIRED TO ACHIEVE FLUSH FINISH AS DETAILED.
- REFER TYPICAL FINISHES DETAILS FOR ALL TYPICAL JUNCTION DETAILS.
- TI.xx SKIRTING TILE TO BE USED ON ALL WET AREA PARTITIONS WHERE NO FULL HEIGHT TILING IS INDICATED (UNLESS NOTED OTHERWISE).
- NO SKIRTING TO BLOCKWORK WALLS OR PRECAST WALLS (UNLESS NOTED OTHERWISE).
- REFER TO CEILING PLANS FOR FINISHED CEILING HEIGHTS.
- READ IN CONJUNCTION WITH JOINERY DRAWINGS.

CODING REFERENCE

- ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE SCHEDULES, TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS.
- REFER TO THE SCHEDULES FOR DETAILS OF ALL INTERIOR CODED ELEMENTS SHOWN ON THE DRAWINGS.
- THE SCHEDULE DESCRIBES IN DETAIL FINISHES, MATERIALS, FIXINGS AND COMPONENT ASSEMBLIES WHERE IT IS NECESSARY TO MAKE REFERENCE TO ENGINEERING SERVICES DISCIPLINES DRAWINGS IN ARCHITECTURAL AND INTERIORS DOCUMENTATION, THE FOLLOWING CODES ARE USED TO INDICATE ONLY THE DISCIPLINE AND THE ELEMENT.

ST: STRUCTURAL STEELWORK
CO: STRUCTURAL CONCRETE WORK
EL: ELECTRICAL ENGINEERING
FE: FIRE ENGINEERING
HY: HYDRAULIC ENGINEERING
ME: MECHANICAL ENGINEERING
CW: CIVIL WORKS ENGINEERING



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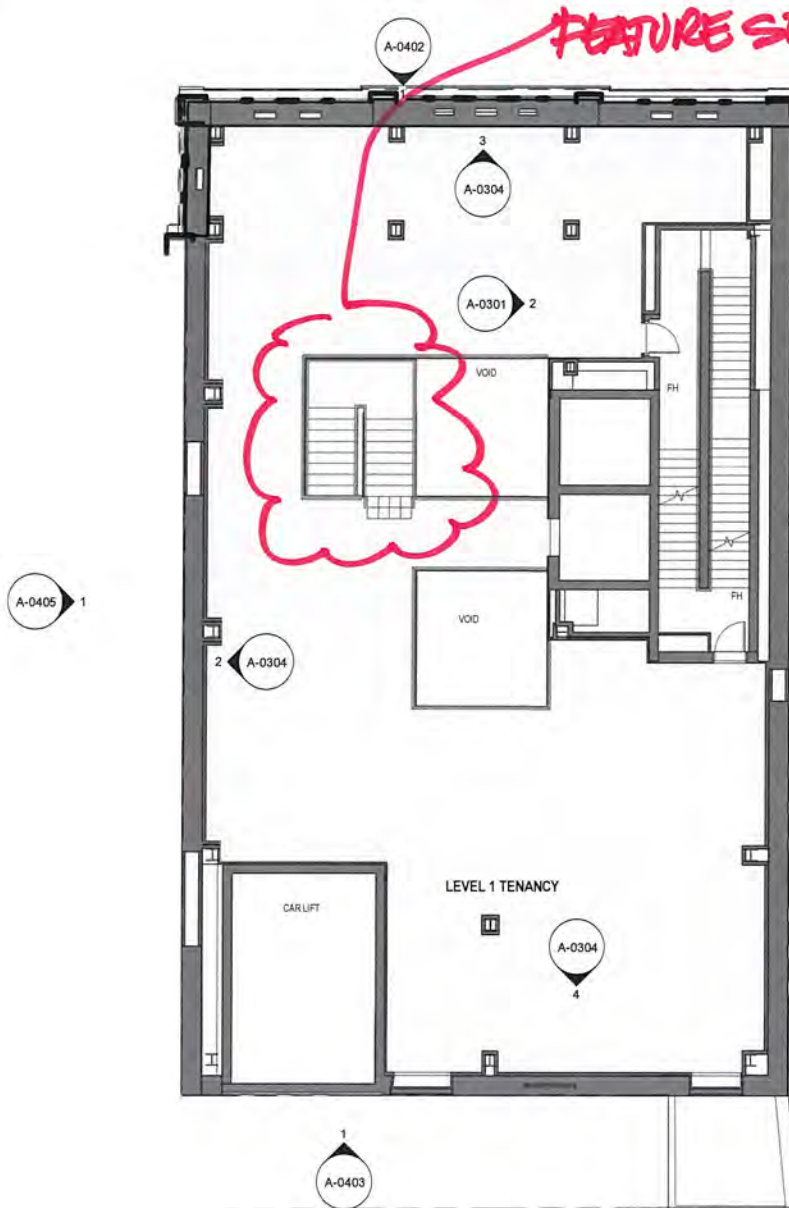
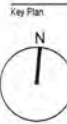
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Drawing Coordinator: PS
Drawing Director Approval: JWH

Project Description: 203 NORTH TERRACE
203 North Terrace, Adelaide SA

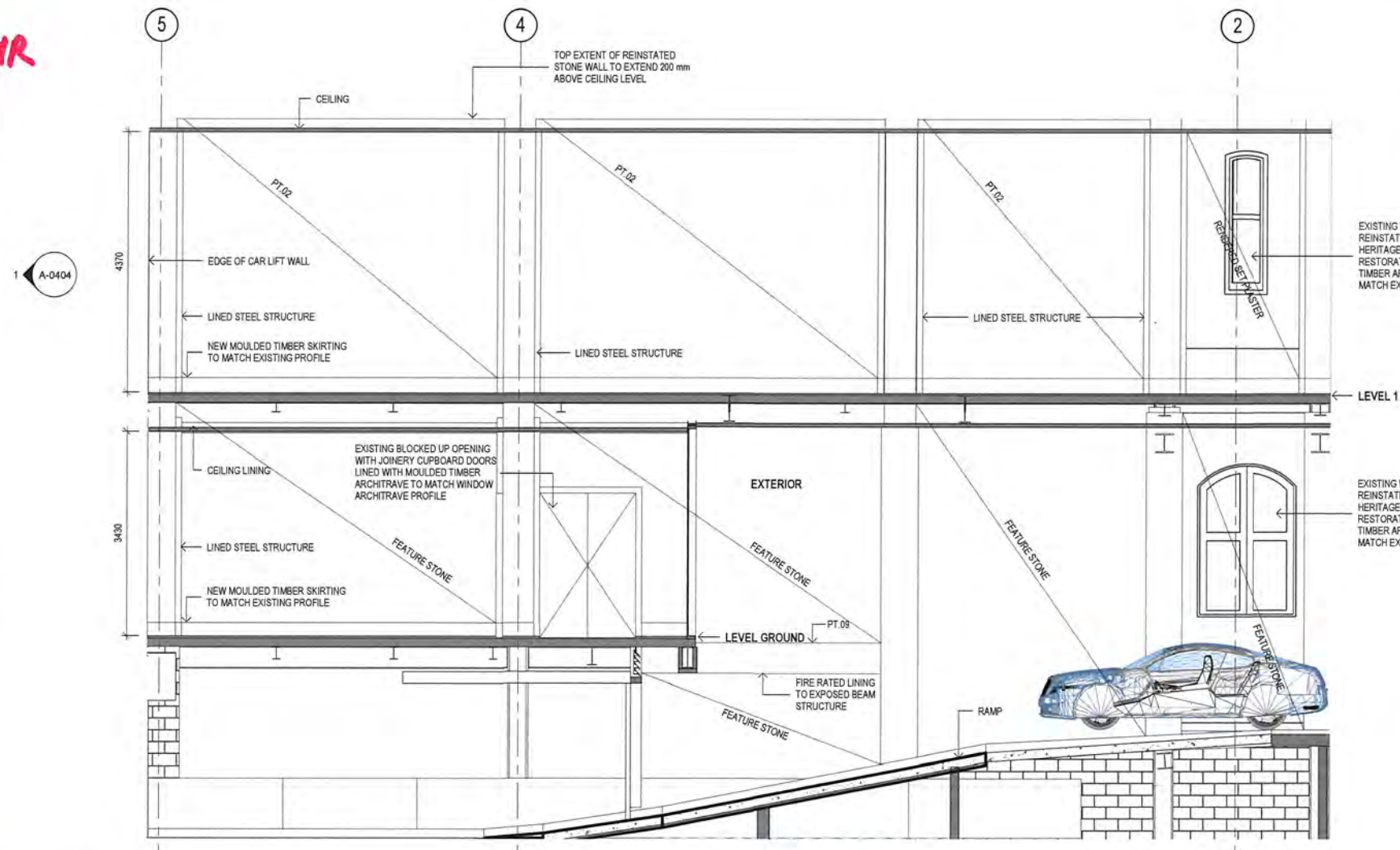
Project Number: 33-17640
Drawing Title: FINISHES PLAN & ELEVATIONS - As indicated
LEVELS STREET & GROUND
Drawing Number: Issue

VARIATION TO DA 020/0003/KA

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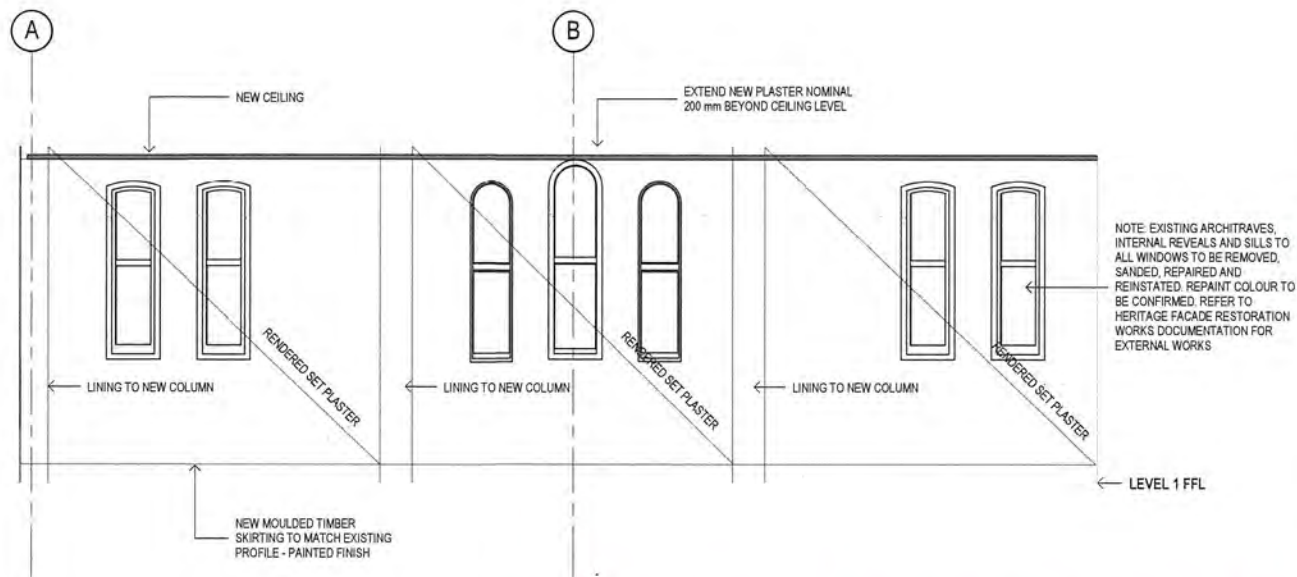


1 LEVEL 1 FINISHES
A-0400 1:100

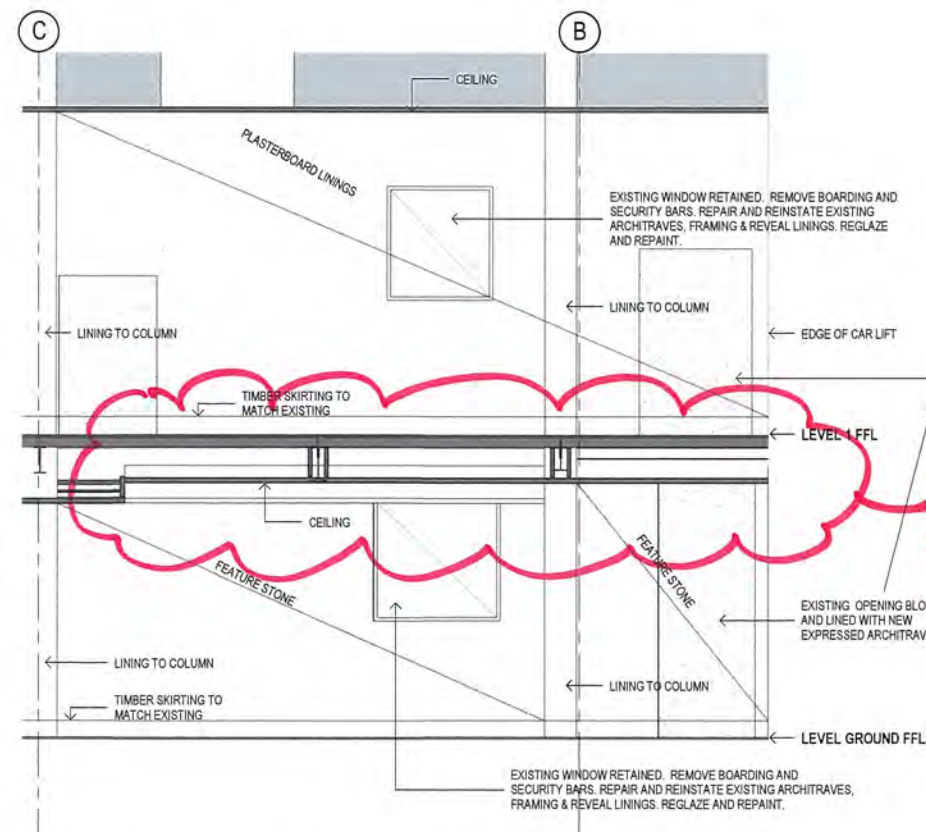


2 INTERNAL ELEVATION WEST WALL - GROUND & LEVEL 1
A-0301 1:50

NOTE: FEATURE STONE CLEANED, REPAIRED AND SEALED TO FEATURE EXISTING STONEWORK



3 INTERNAL ELEVATION NORTH WALL - LEVEL 1
A-0304 1:50



4 INTERNAL ELEVATION SOUTH WALL - GROUND & LEVEL 1
A-0304 1:50

FLUSH SUSPENDED CEILING.

Client
catcon
civil & allied technical construction
CATCON
588-800 South Road, Angle Park SA 5010

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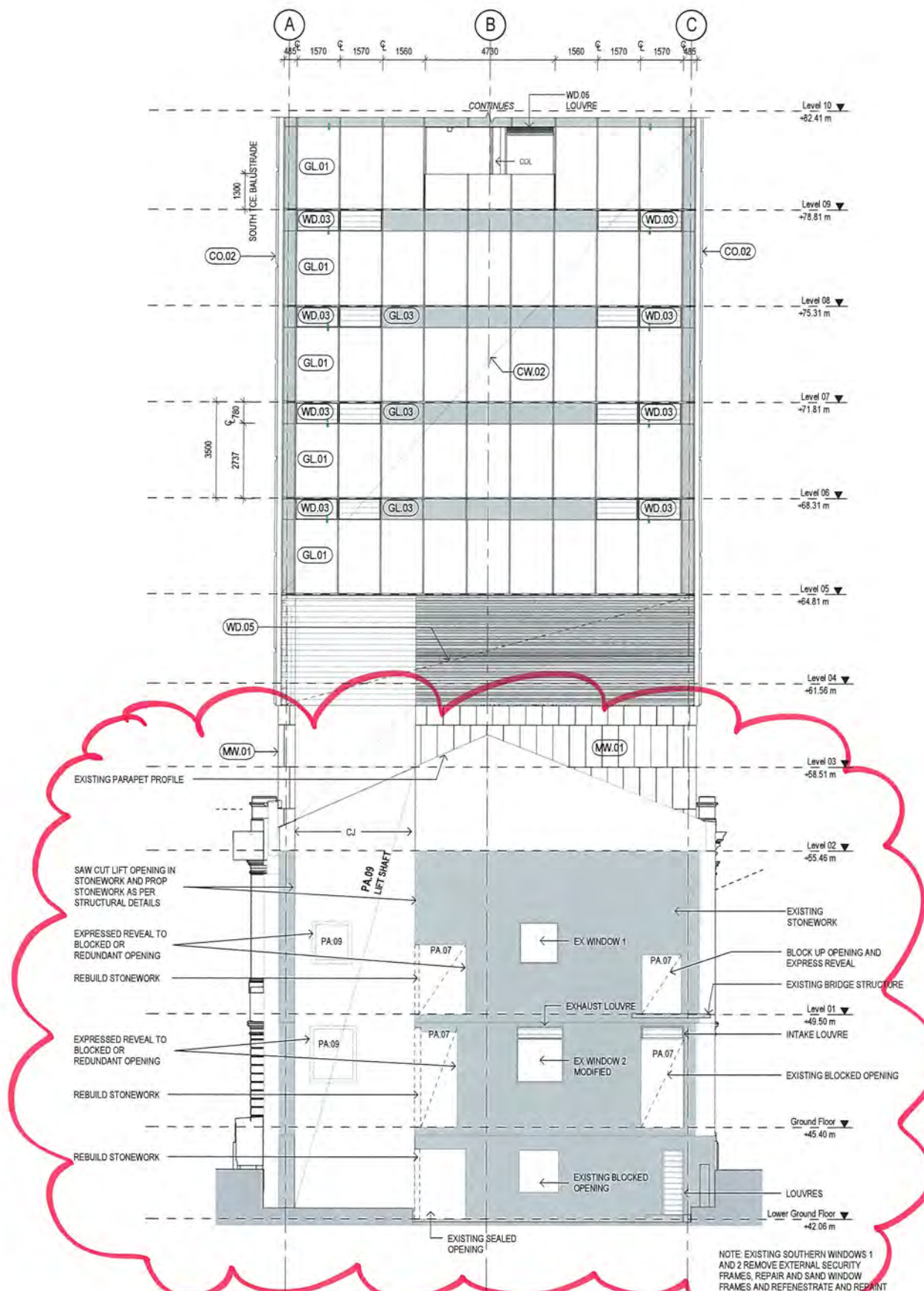
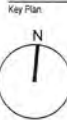
Checked: NR
Drawing Coordinated: PS
Drawing Director Approval: JW
Project Description: 203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number: 33-17640
Drawing Title: INTERNAL ELEVATIONS - GROUND & LEVEL 01
Drawing Number: 33-17640 A-0304
Scale: As indicated
Original Size: 1:50
Issue: B

DRAWING SCALE CORRECT @ A1 SHEET SIZE

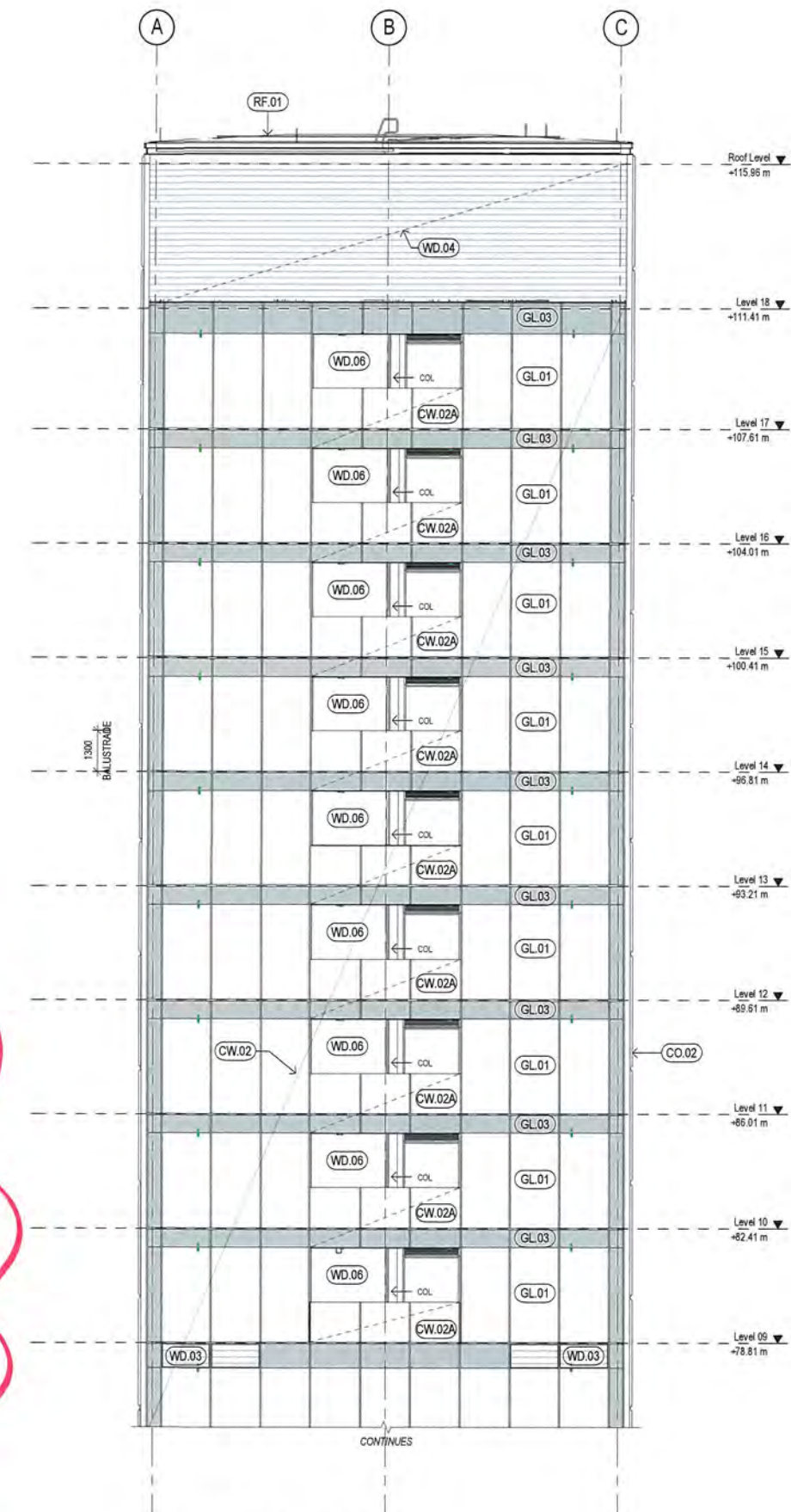
33-17640 A-0304 B

variation to DA 020/0003/144



1 PART SOUTH ELEVATION - LOWER
A-0304 1:100

LEGEND
100% FRIT TO GLASS
GL.03 - Tinted Spandrel Panel



2 PART SOUTH ELEVATION-UPPER
A-0400 1:100

**FACADE
EXPRESSION
TO LIGHT WELL**

Issue	Revision Description	Date
C	DAC RESUBMISSION	15.05.2017
B	ISSUED FOR BUILDING RULES ASSESSMENT	16.10.2015
A	ISSUED FOR 90%	15.08.2015

Client
catcon
civil & allied technical construction
CATCON
598-600 South Road, Angle Park SA 5010

Architects
GHDWOODHEAD

Level 4, 211 Victoria Square Adelaide SA 5000 Australia
GPO Box 2052 Adelaide SA 5001
T 61 8 8111 6600 F 61 8 8111 6699
E adm@ghd.com W www.ghd.com

Checked: NR
Drawing Coordinated: PS
Drawing Director Approval: JMW
Project Description:

203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number: 33-17640
Drawing Title: PART ELEVATION SOUTH 1-100
Scale: 1:100

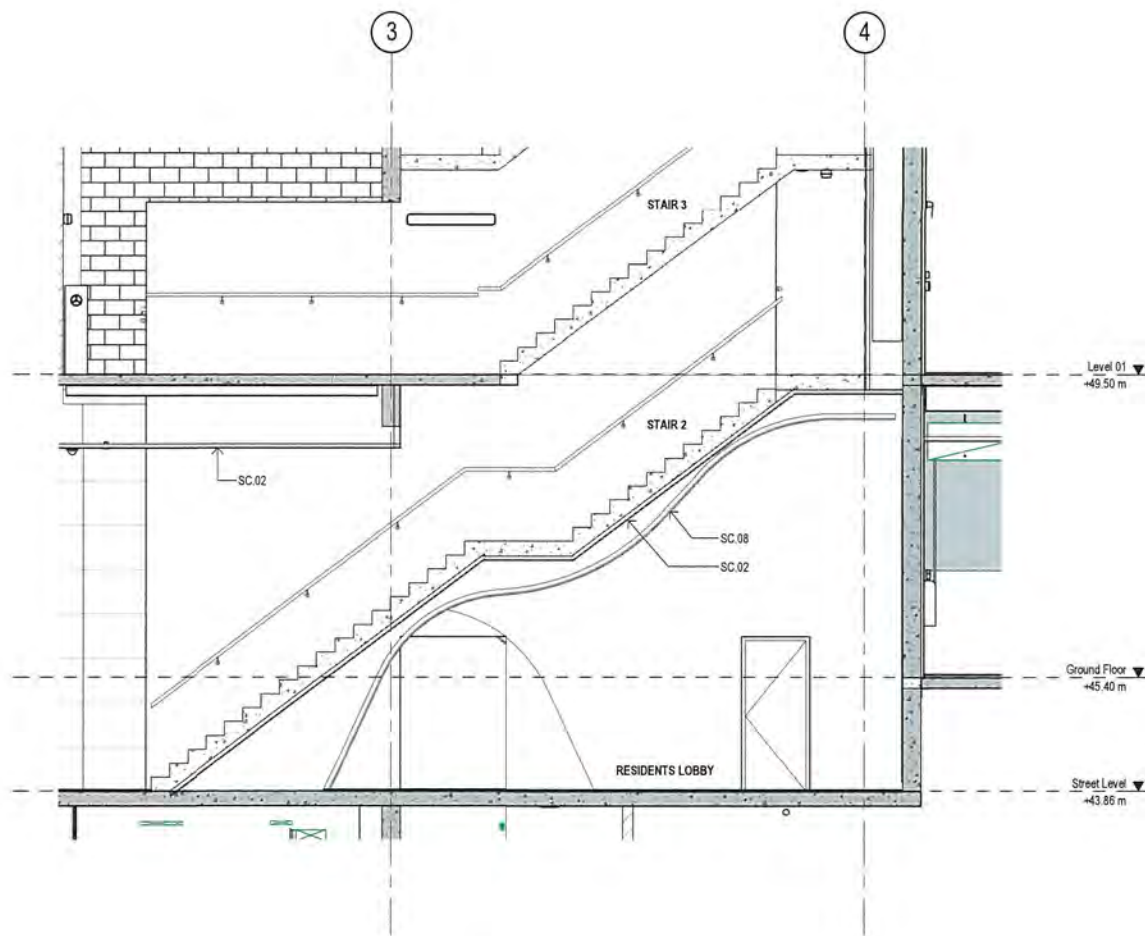
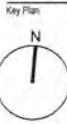
Drawing Number: Original Size: Issue:

33-17640 A-0403 C

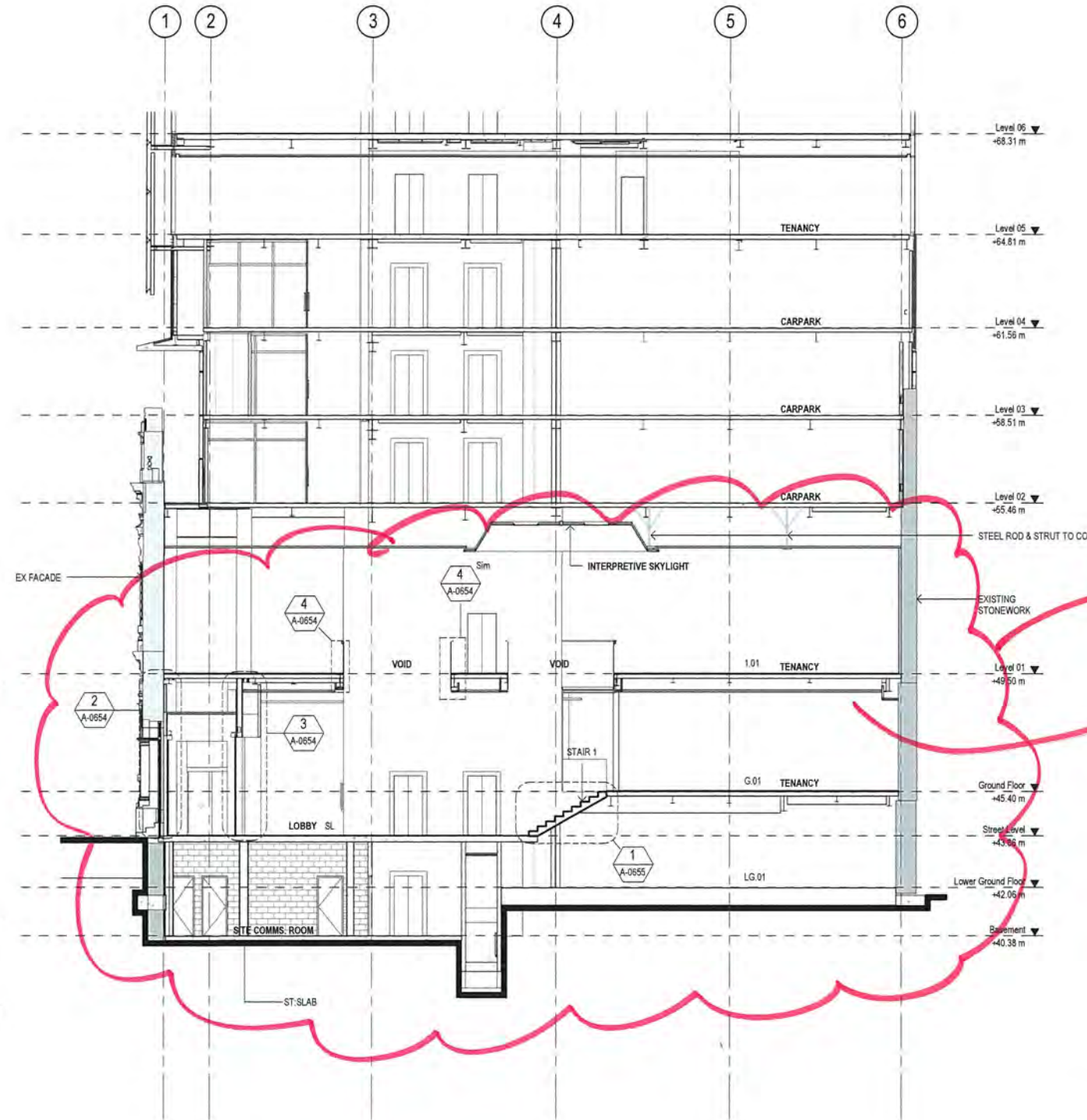
DRAWING SCALE CORRECT @ A1 SHEET SIZE

VARIATION TO DA 020/0003/1AA.

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1 SECTION RESIDENTS LOBBY
A-0450 1:50



2 ENLARGED SECTION
A-0450 1:100

C	DAC RESUBMISSION	18/05/2017
B	ISSUED FOR BUILDING RULES ASSESSMENT	18/10/2015
A	ISSUED FOR 90%	15/09/2015
Issue	Revision Description	Date

PROFILE THRU VOIDS.

FLUSH PLASTERED CEILING.

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Checked	NR
Drawing Coordinated	PS
Drawing Director Approval	JW

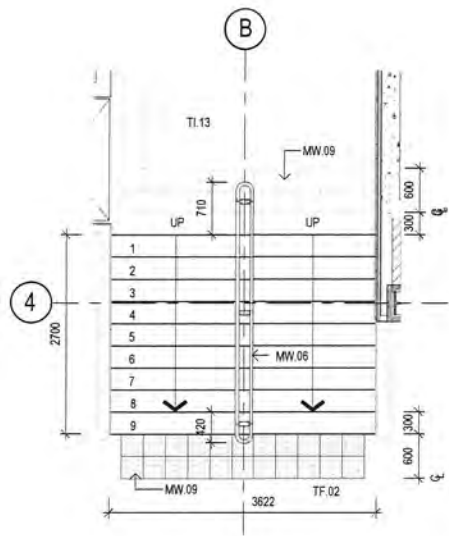
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203 NORTH TERRACE
203 North Terrace, Adelaide SA

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Drawing Number		Original Size
Issue		

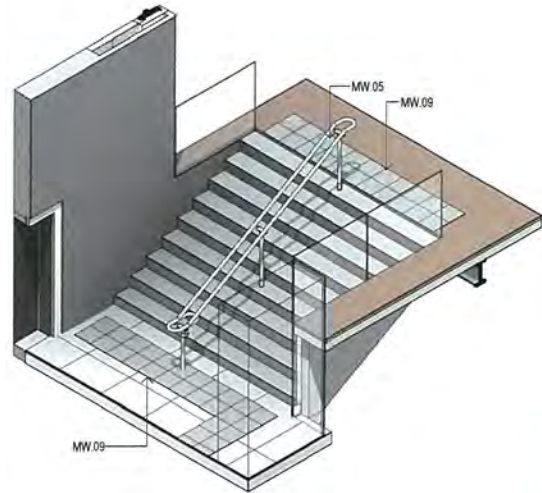
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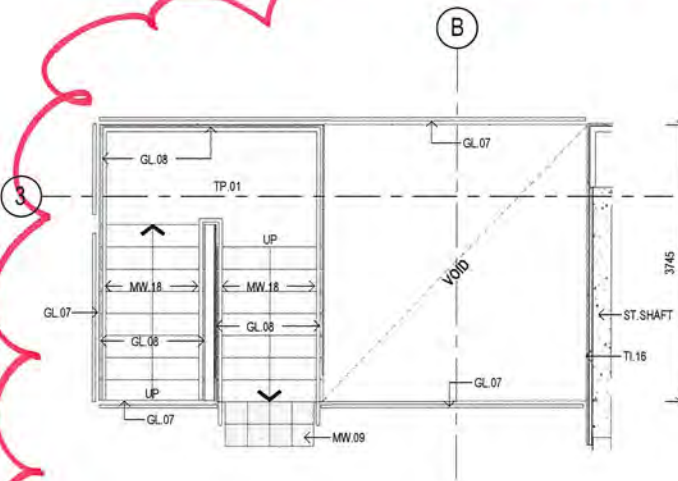
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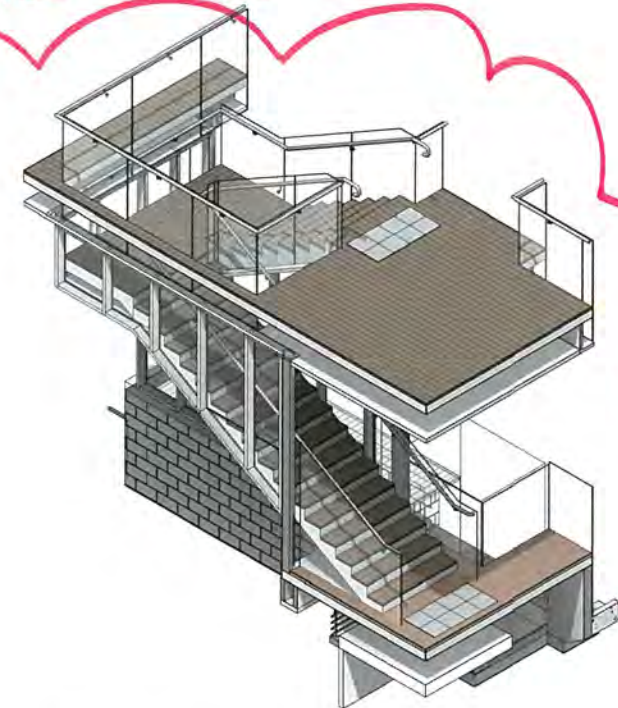
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A-0102 1:50



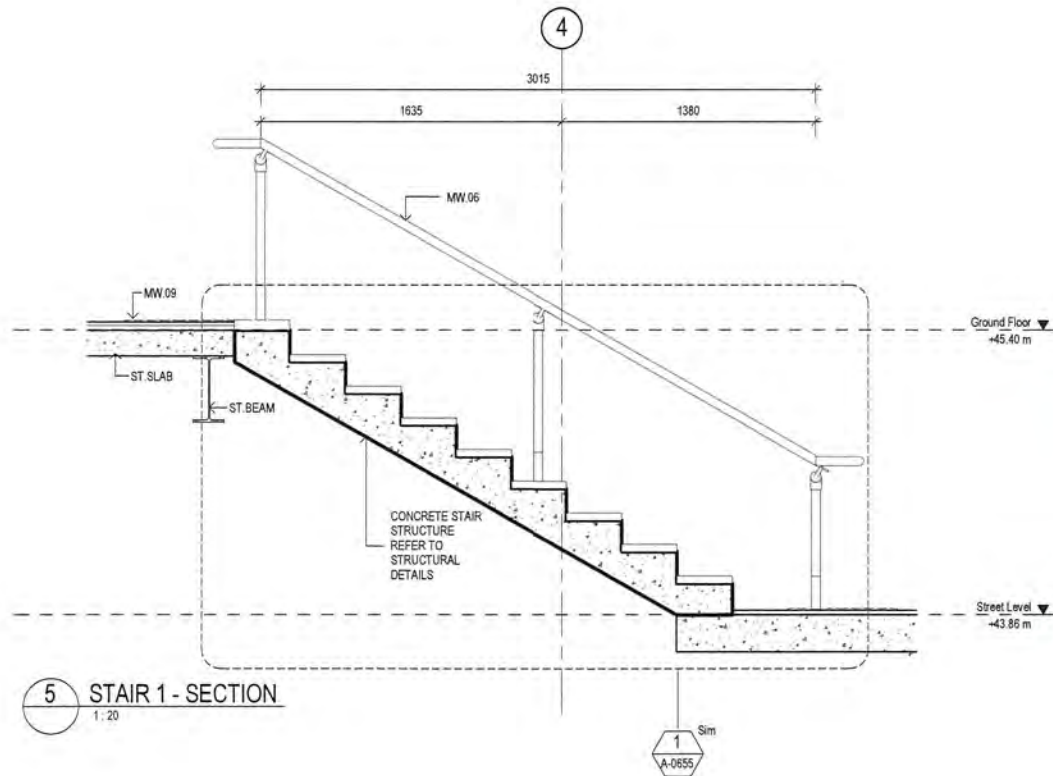
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NOTE: 3D IMPRESSION OF STAIR SHOWN NOTIONALLY ONLY



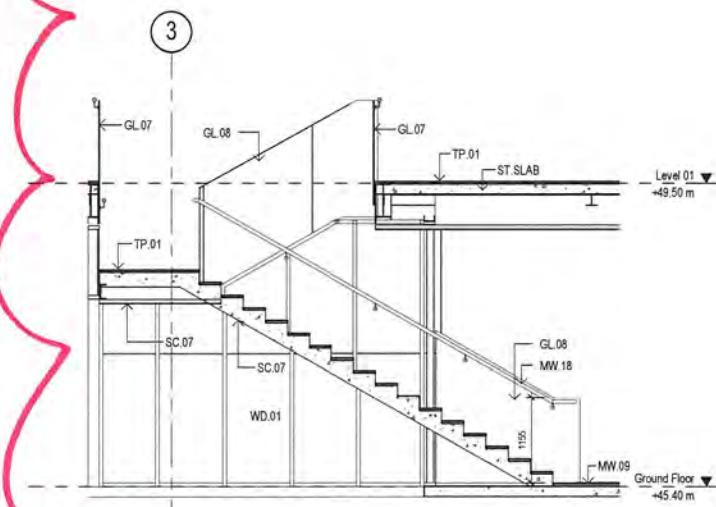
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A-0102 1:50



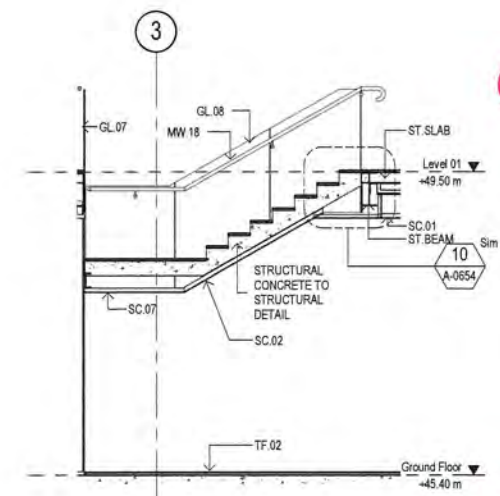
4 STAIR 8 - GROUND TO LEVEL 01 AXO
NOTE: 3D IMPRESSION OF STAIR SHOWN NOTIONALLY ONLY



5 STAIR 1 - SECTION
1:20



6 STAIR 8 - SECTION
A-0552 1:50



7 STAIR 8 - SECTION 2
1:50

VARIATION TO DA 020 / 000 3 / 1 4A

Issue	Revision Description	Date
D	DAC RESUBMISSION	16.05.2017
C	UPDATED FOR BCA	27.11.2015
B	ISSUED FOR BUILDING RULES ASSESSMENT	16.10.2015
A	ISSUED FOR 90%	15.09.2015



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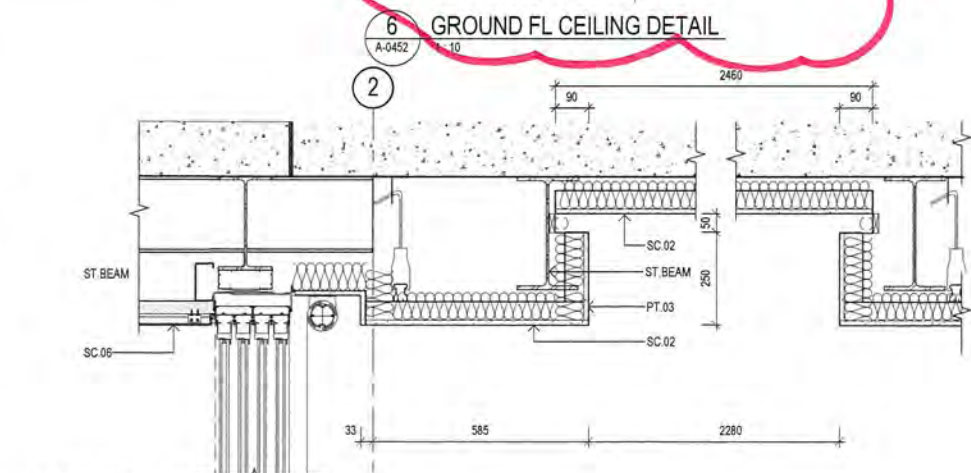
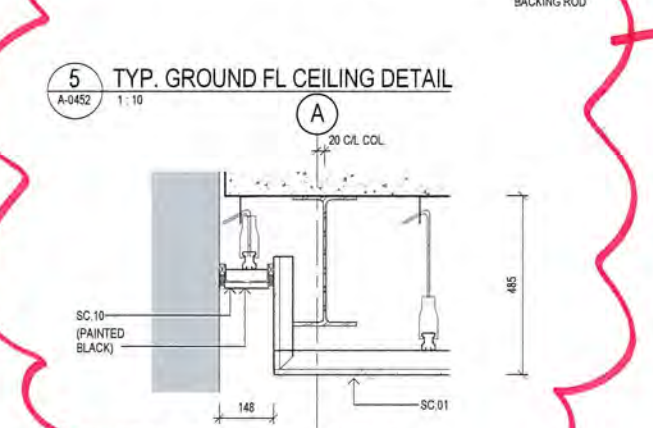
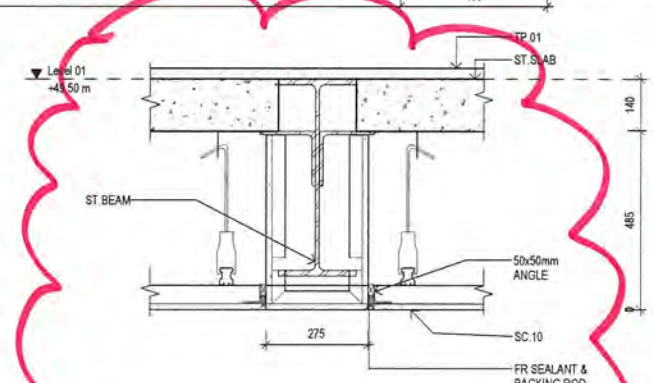
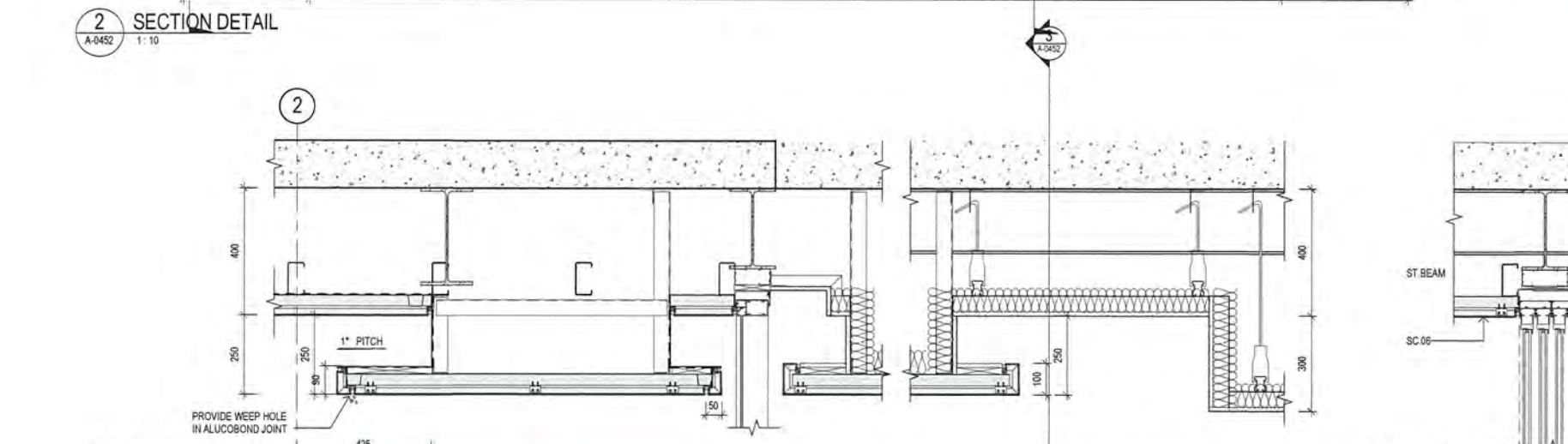
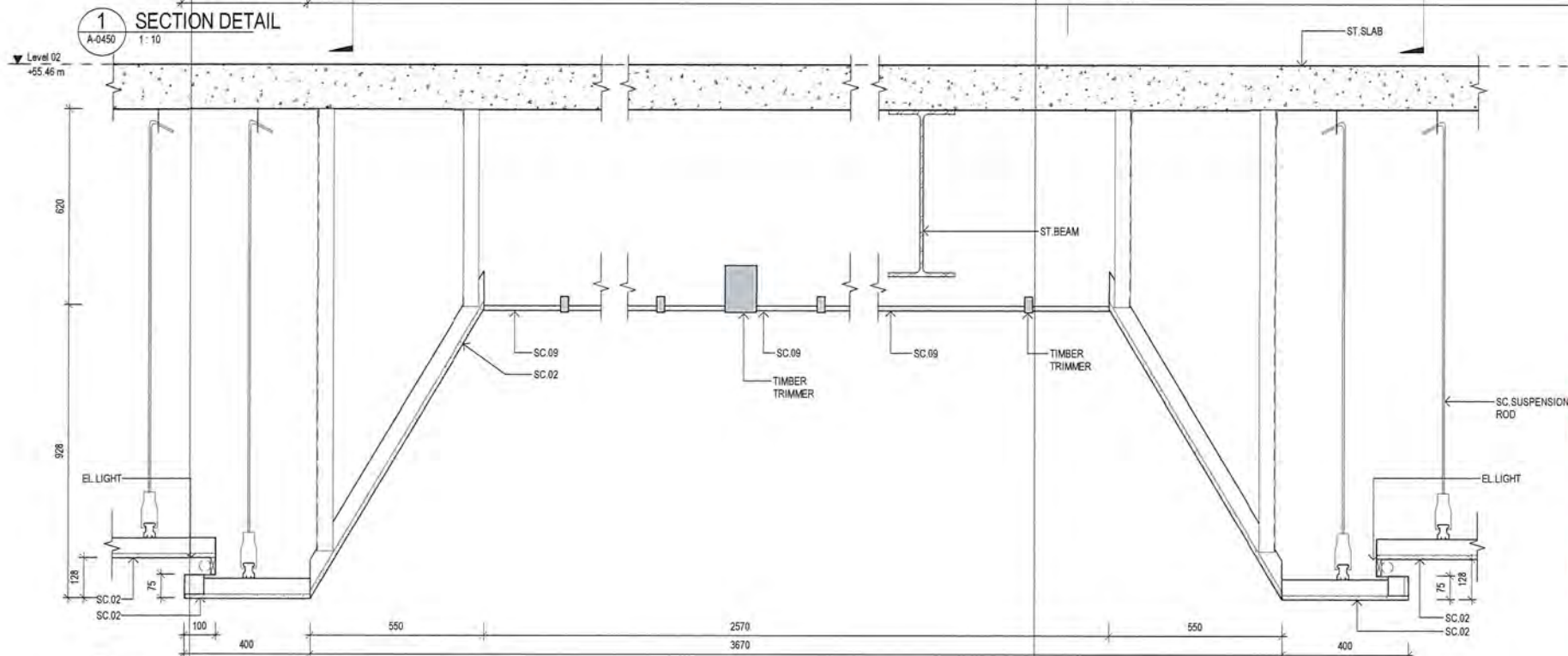
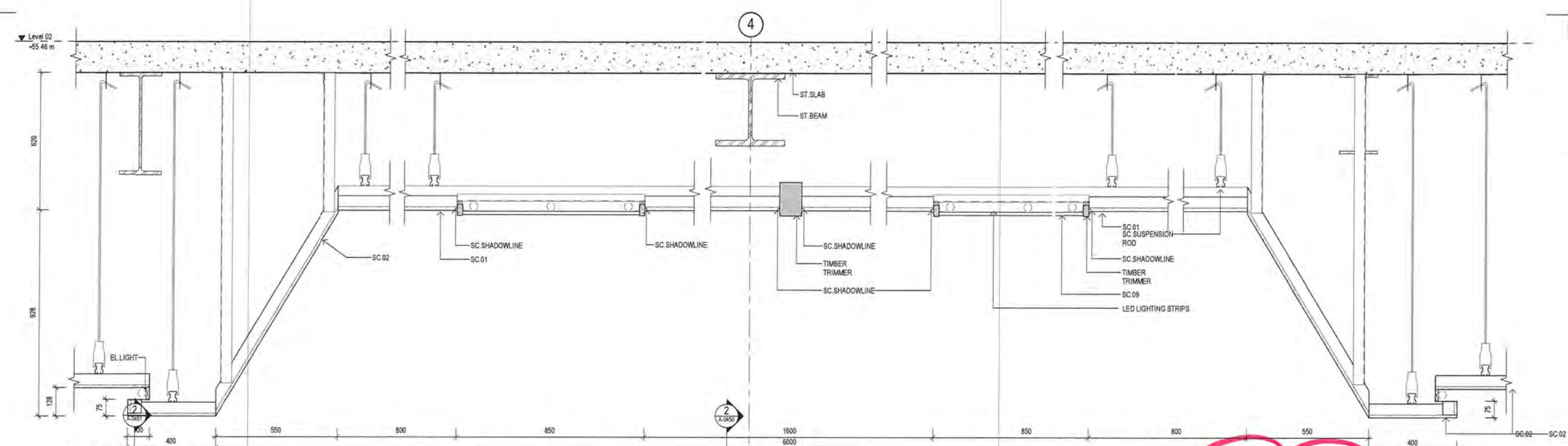
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Drawing Coordinated	PS
Drawing Director Approval	JW

Project Description
203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number	33-17640	Scale
Drawing Title	STAIR DETAILS - SHEET 4	As indicated
Drawing Number		Issue

33-17640 A-0553 D

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GROUND FLOOR CEILING PROFILE

B OAC RESUBMISSION 18 05 2017
A ISSUED FOR BUILDING RULES ASSESSMENT 18 10 2015
Issue Revision Description Date

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Checked NR
Drawing Coordinated PS
Drawing Director Approval JW

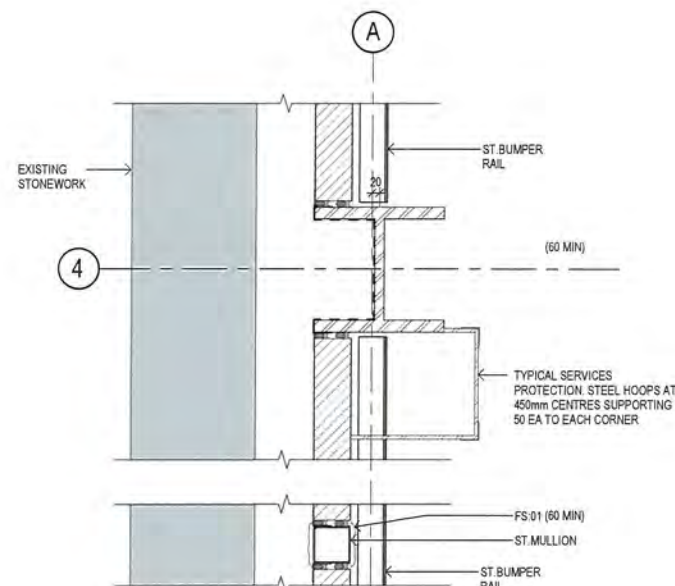
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203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number 33-17640
Drawing Title
SECTION DETAILS 7
Scale 1:10
Original Size

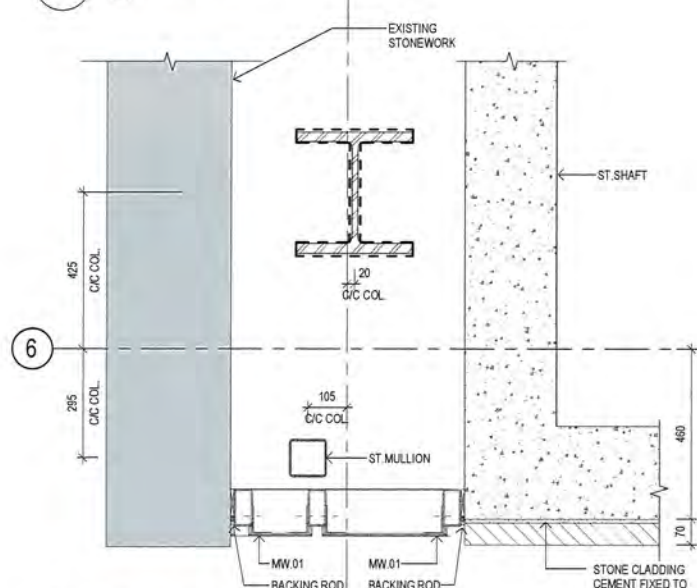
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33-17640 A-0656
Issue B

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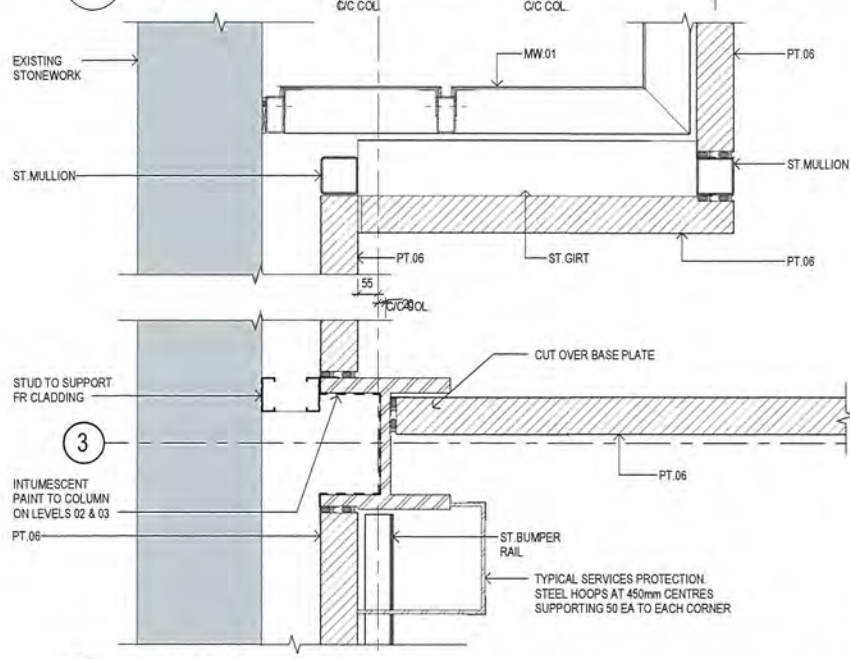
VARIATION TO DA 020/0003/14A



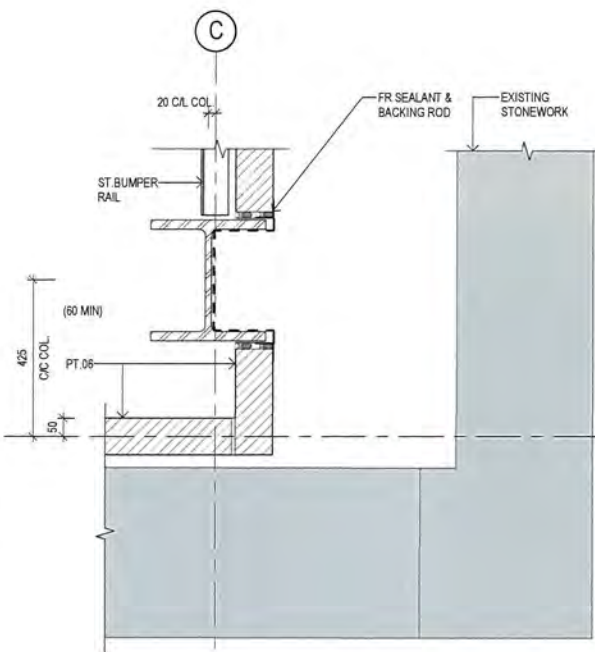
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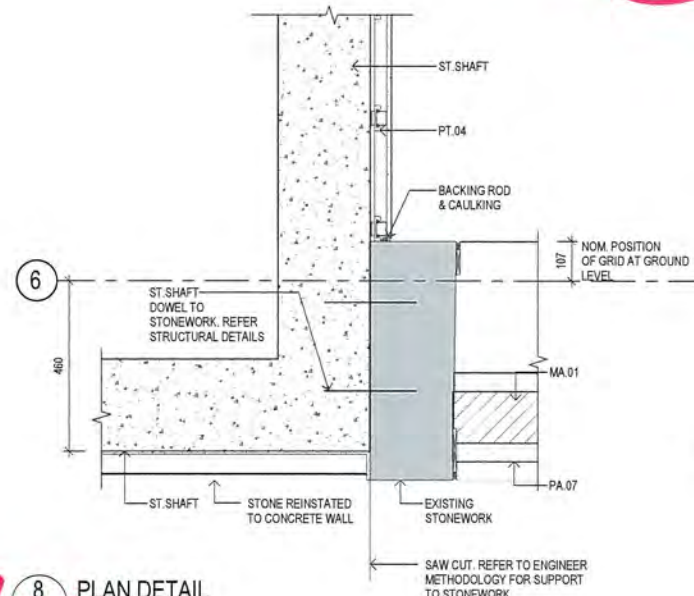
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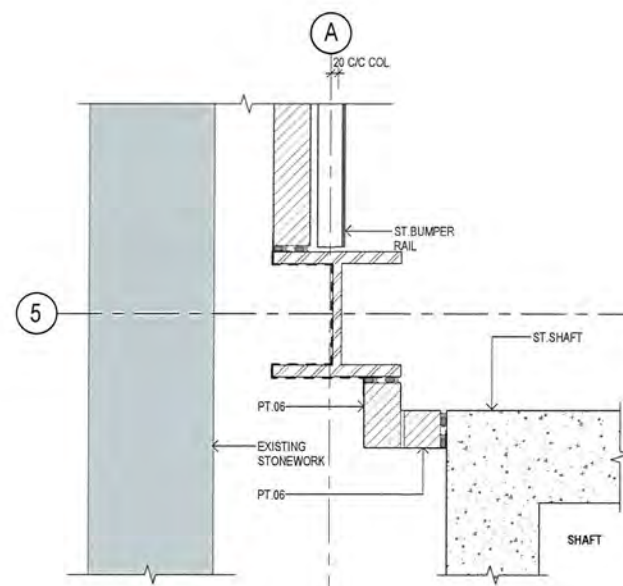
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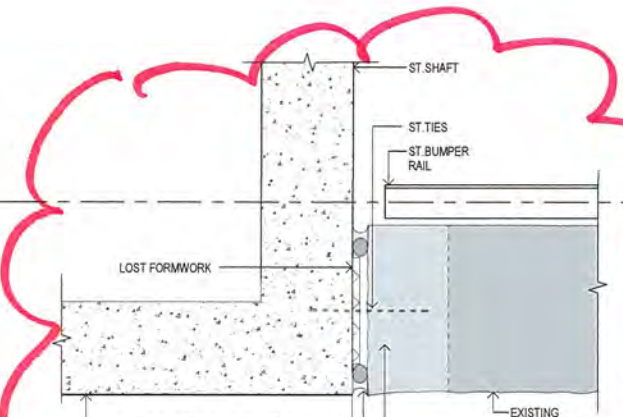
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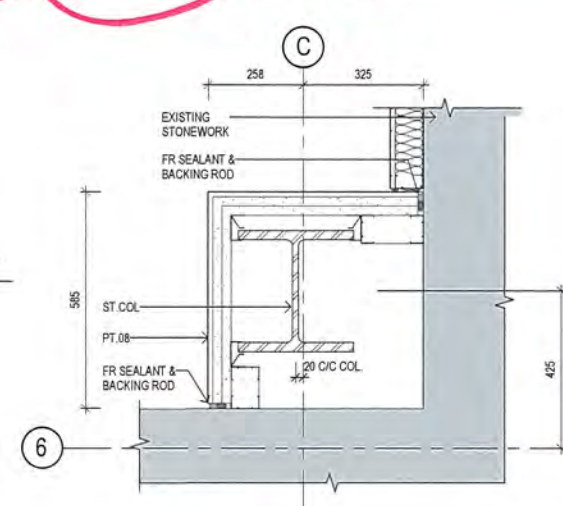
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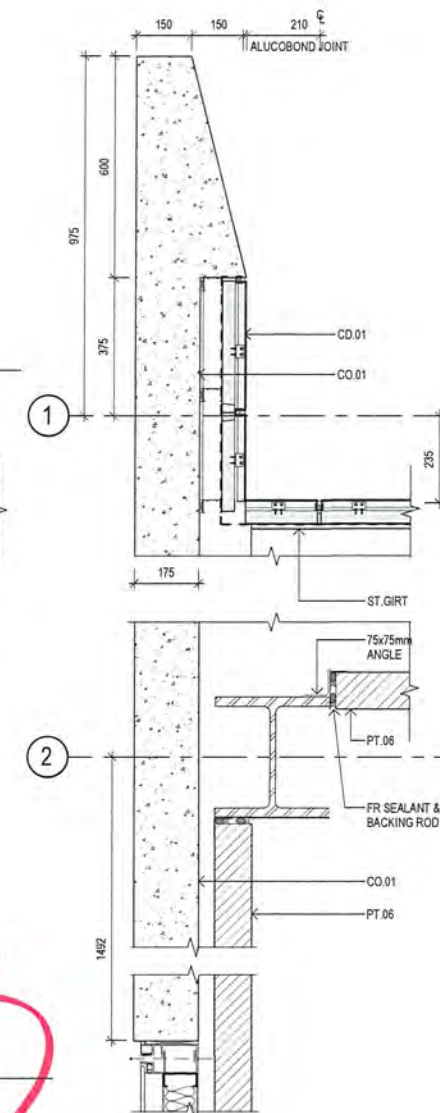
2 PLAN DETAIL
1:10



5 PLAN DETAIL
A-0103 1:10



9 PLAN DETAIL
A-0102 1:10



6 PLAN DETAIL
A-0103 1:10

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Issue	Revision Description	Date
C	DAC RESUBMISSION	15/05/2017
B	ISSUED FOR BUILDING RULES ASSESSMENT	16/10/2015
A	ISSUED FOR 90%	15/09/2015

BEAR WALL TO LIGHT WELL
PENETRATION DETAIL

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Checked: NR
Drawing Coordinated: PS
Drawing Director Approval: JW
Project Description: 203 NORTH TERRACE
203 North Terrace, Adelaide SA

Project Number: 33-17640
Drawing Title: PLAN DETAILS 3
Scale: 1:10
Drawing Number: Original Size
Issue: C

33-17640 A-0677

DRAWING SCALE CORRECT @ A1 SHEET SIZE

VARIATION TO DA 020/0003/14A



WALLBRIDGE & GILBERT
Consulting Engineers

Catcon

203 NORTH TERRACE, ADELAIDE



STRUCTURAL METHODOLOGY FOR HERITAGE RETENTION UTILISING TEMP BRACING

Job No. WAD121048
Rev A
31st August 2015



C

ONTENTS

1	INTRODUCTION.....	3
2	STRUCTURAL CONSTRUCTION METHODOLOGY.....	4

APPENDIX A - SKETCHES

REVISION HISTORY					
Rev	Date	Issue	Originator	Checker	Approver
A	10/11/2014	APPROVAL	SMI		
B	31/08/2015	APPROVAL	JPF		

1

INTRODUCTION

Wallbridge & Gilbert has been engaged by Civil and Allied Technical Construction Pty Ltd (CATCON) to carry out structural and civil consulting works on a proposed multi level residential/office/commercial building development with a combined total of 19 levels and basement. The proposed building tower is encapsulated within the facade of an existing State Heritage listed building. The Planning Notification Form has requested a detailed construction methodology for the proposed development (insofar as it impacts on the physical fabric, interior spaces and structural stability of the subject historic building, and on the stability of the adjoining historic buildings to either side).

The current form of the building consists of a half basement with suspended timber floors at basement, ground and first floor levels. Timber trusses support the metal roof with timber posts above first floor and cast iron columns below. All walls are of stone construction, with bluestone footings.

An initial Structural Methodology report was presented to address the retention of the suspended timber floors as part of these works. Recent advice from termite specialists has indicated issues with existing termite activity within the existing timber structural elements and with ongoing warranty of long term termite protection. As a result the retention of the timber floor structural elements has now been abandoned, with the Ground and Level 1 floors to be rebuilt in steel and concrete materials. The following amended report outlines the revised methodology associated with this revised approach.

2

STRUCTURAL CONSTRUCTION METHODOLOGY

The following revised summary of the proposed construction methodology is offered to demonstrate the processes to be adopted to retain the physical fabric and provide structural stability to the subject historic building, and also provide ongoing stability of the adjoining historic buildings to either side during construction.

The intent is to retain the existing building perimeter stone wall facades only. The original intention to retain the Level 1 timber floor system and the rear (southern) Ground Level timber floor system and their supporting cast iron columns where practicable has been abandoned due to the outcomes of a recent termite specialist review revealing extensive termite infestation / damage to the existing timber elements and of long term warranty issues with respect to future termite protection of structural timber elements.

The temporary building facade support is to be achieved predominantly via use of temporary construction propping elements (eg RMD Propping Units Megashor/Slimshor or similar) until the external perimeter stone wall structure is fully tied into the new floor slab levels and the associated stabilising lift and stair shaft cores.

To achieve this we propose the following construction methodology:

- Refer Sketch Drgs TSK100 and TSK109 to TSK110 for plan view layouts.
- Refer Sketch Drgs TSK126 to TSK129 for elevation views.
- Refer Sketch Drgs TSK133 to TSK137 for detail views.
- During the following sequence to install the temporary external stone wall restraint system the existing timber floor structures will require backpropping to facilitate construction live load activities.
- Install horizontal lateral restraint systems at underside of existing roof and just above the existing Level 1 and Ground Level floors as depicted in the attached sketches TSK109 – 110. This is to include the north and south elevation vertical internal/external Megashor wall stabilising mullions.
- The Ground Level lateral restraint system is to be located sufficiently high enough to allow construction access into the building through the existing driveway entry (but no more than 2.5m nominal clearance).
- The north and south vertical upper wall Megashor stabilising mullions are to be located proud of the wall faces and ornamental overhangs. Hard wood timber packers and wedges are to be installed between the Megashor mullions and the wall faces and the mullions are to be tied together to create a compression clamp system.
- Remove existing roof structure.

- Remove Level 1 timber floor boards, floor joists and bearers and supporting cast iron columns. Retain cast iron columns for potential re-use as decorative elements (to Architects details)
- Remove Ground Level timber floor boards, floor joists and bearers and supporting cast iron columns. Retain cast iron columns for potential re-use as decorative elements (to Architects details).
- Remove Basement Level timber floor boards, floor joists and bearers.
- At this stage the Stage 2 deep borehole geotechnical site investigation is to be undertaken.
- After completion of the Stage 2 deep borehole geotechnical site investigation excavate to RL41.21 (TBC) around the external grid adjacent the external walls, which will approximately coincide with the underside of the new major raft footing slab at the lower ground floor level (TBC).
- Install CFA piles to the raft footing perimeter (all round). Low headroom rig may be required to avoid the Ground Level temporary lateral bracing system. Final pile details to be confirmed during detailed design and on the outcome of the Stage 2 geotechnical investigation, but as a guide 500mm diameter piles x 6m deep at 2m centres. Piles to the basement perimeter to be installed and terminated at the base of the lower or upper raft underpin levels as appropriate. Removal of the existing north western entry ramp to the basement floor area will be required at this stage.
- CFA piles immediately to the east of the eastern central lift and stair core will be required to provide temporary lateral support to the egress corridor deep excavation zone.
- Install underpins adjacent areas of the lowered basement floor with toe portion of low level RL 40.38 raft slab (refer Sketch TSK100 for underpinning extent and Sketch TSK133 and TSK134 for typical underpin detail). Underpins are to be constructed in a 3 staged sequence, each of 1m maximum width (i.e. construct 1st underpin of 1m length, leaving 3m space to the next 1st stage underpin and so on. 2nd stage underpins to be installed midway between the 1st stage underpins after completion of the 1st stage installation. 3rd stage final infill underpins to be installed between the 1st and 2nd stage underpins after completion of the 2nd stage installation).
- Variation to the preceding point is the rear (southern) wall of the car lift shaft (refer sketch SK137). Due to the geometry the underpin will be offset to the stone wall above. Proceed in a similar fashion and in addition provide 2 Slimshor props per 1m underpin segments, installed prior to commencing the next stage underpin segment.
- In a similar fashion install the underpins to the high level RL 42.01 raft footing slab in a 3 stage segmental sequence to a founding depth of not less than the non-desiccated Keswick Clays identified within the Preliminary Geotechnical Investigation report dated Feb 2013 (refer Sketch TSK100 for underpinning extent and Sketch TSK135 and TSK136 for typical underpin detail). This founding depth is approximately 1500mm below the current Basement timber floor (RL40.56 approx).
- Install external perimeter section of remaining RL42.01 high level raft footing slab.
- Construct remainder of the lower and upper split level basement raft footing slab. The upper raft footing is to be founded via lean mix onto the un-desiccated level of Keswick clay. It is expected this level will vary across the site and lean mix is only required where the base of the raft slab bears onto the un-desiccated Keswick clays, highly calcareous soils or non-engineered fill. A notional depth of 1500mm below current timber floor level (about RL40.56) should be anticipated for the lean mix bearing depth level.

- Remove the rear stone wall within the car lift shaft zone and retain horizontal restraint members across this zone.
- Pour main stair/lift shaft and rear car lift shaft walls to Level 2 utilising cast insitu techniques. Tie existing external stone walls to new concrete shaft during this pour phase.
- Perimeter Megashor wall restraint members are to remain in position while the concrete shaft walls are poured around them within wall pockets.
- Install loadbearing block walls to the northern basement level and all primary steel columns to facilitate installation of Ground Level and Level 1 steel floor beam system supporting the Kingflor KF70 slabs. All perimeter steel beams are to be tied to the perimeter masonry/stone walls to each level.
- Pour concrete slabs to Street Level, Ground Level and Level 1 floors and tie fully to main Lift/stair and car lift concrete shafts.
- Temporary lateral restraint system may be removed upon completion of the corresponding slab pour and on completion of the tie system to the perimeter walls and lift/stair shafts.

APPENDIX A – SKETCHES



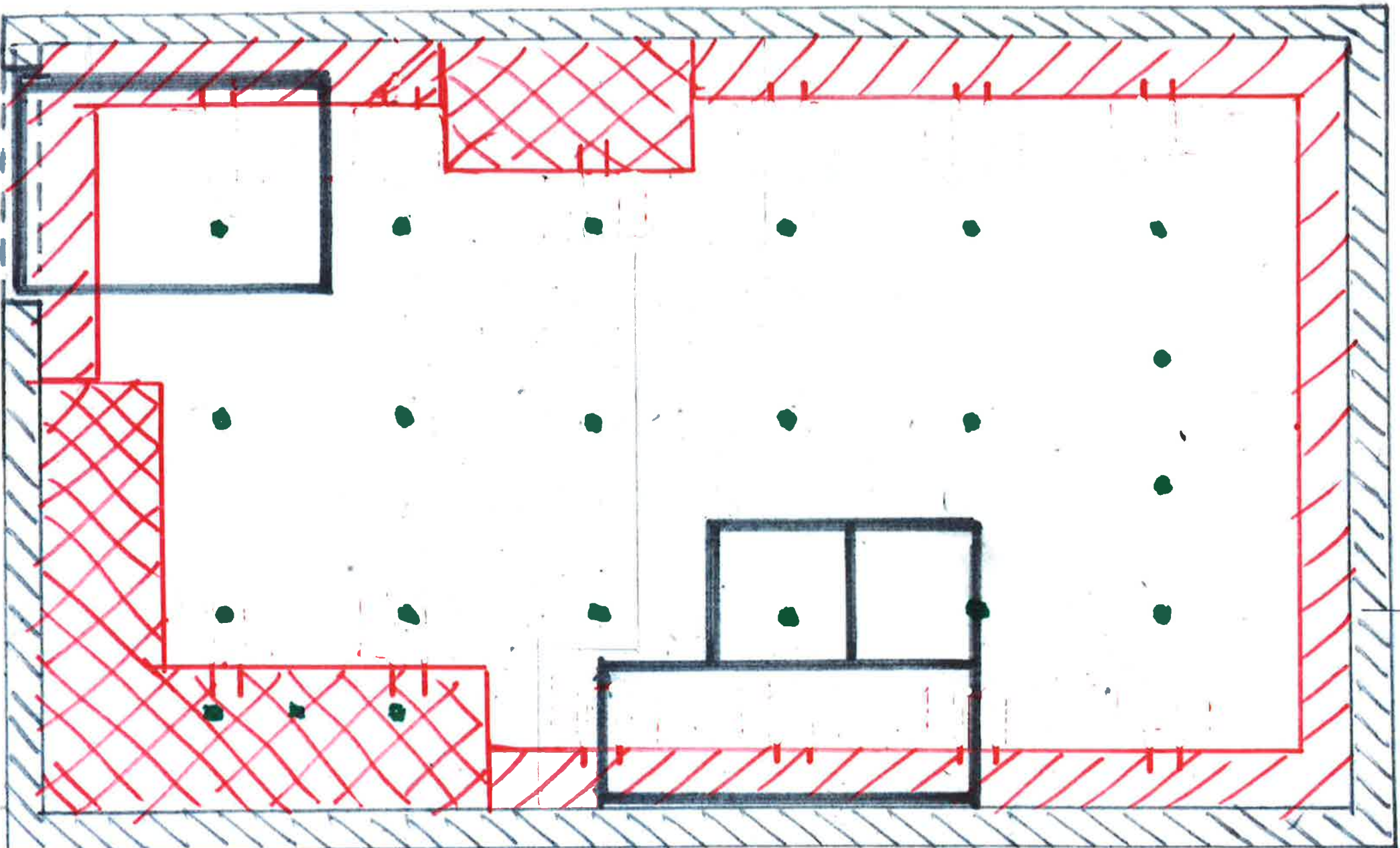
THE NATIONAL WINE CENTRE, HACKNEY, SA

WALLBRIDGE & GILBERT

BASEMENT PLAN ①

WAD 121048-ISK102B

NORTH TERRACE



Basement

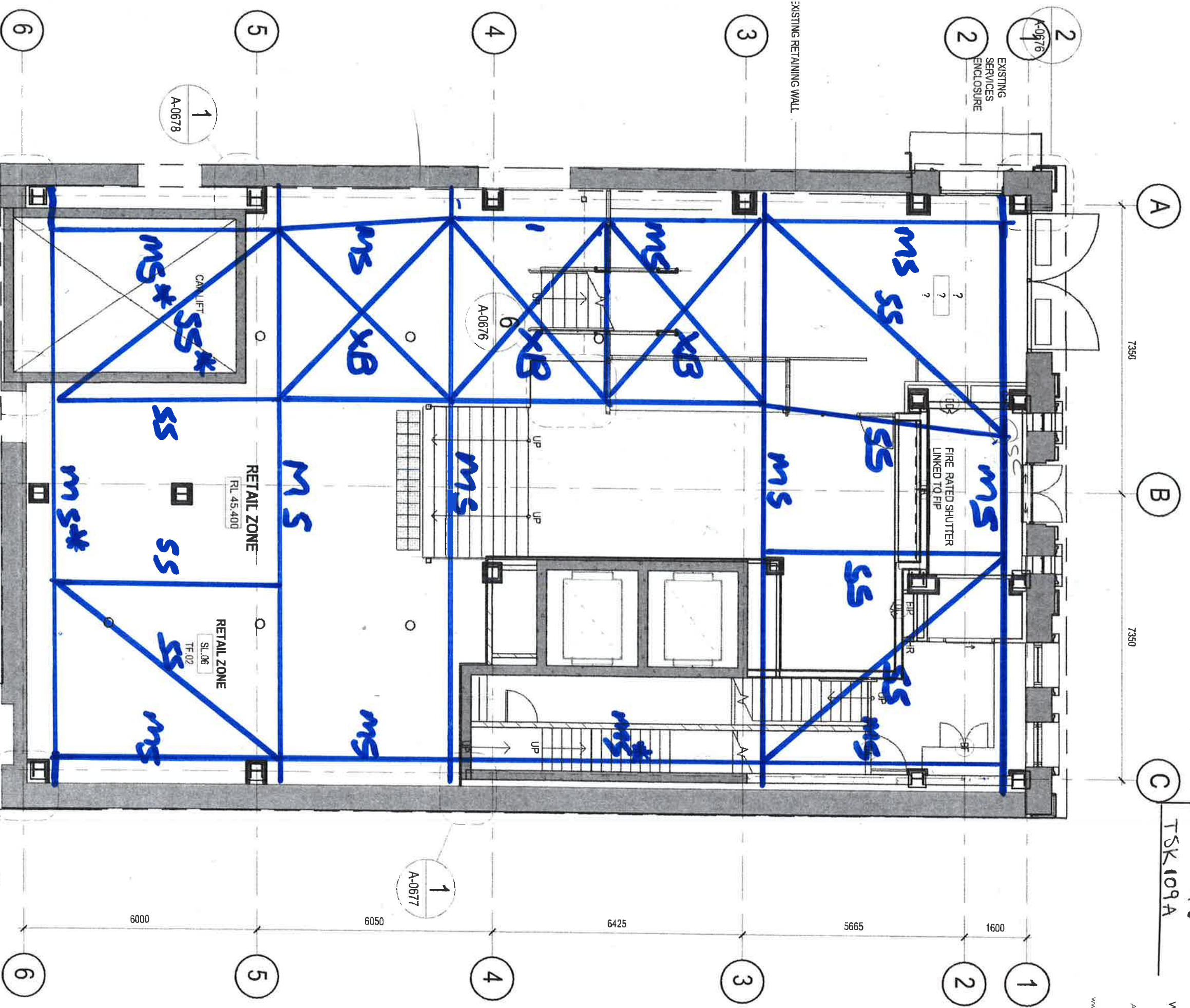
Low level
Underpin Toe
Footing

High level
Raft Footing
& underpinning

W&G

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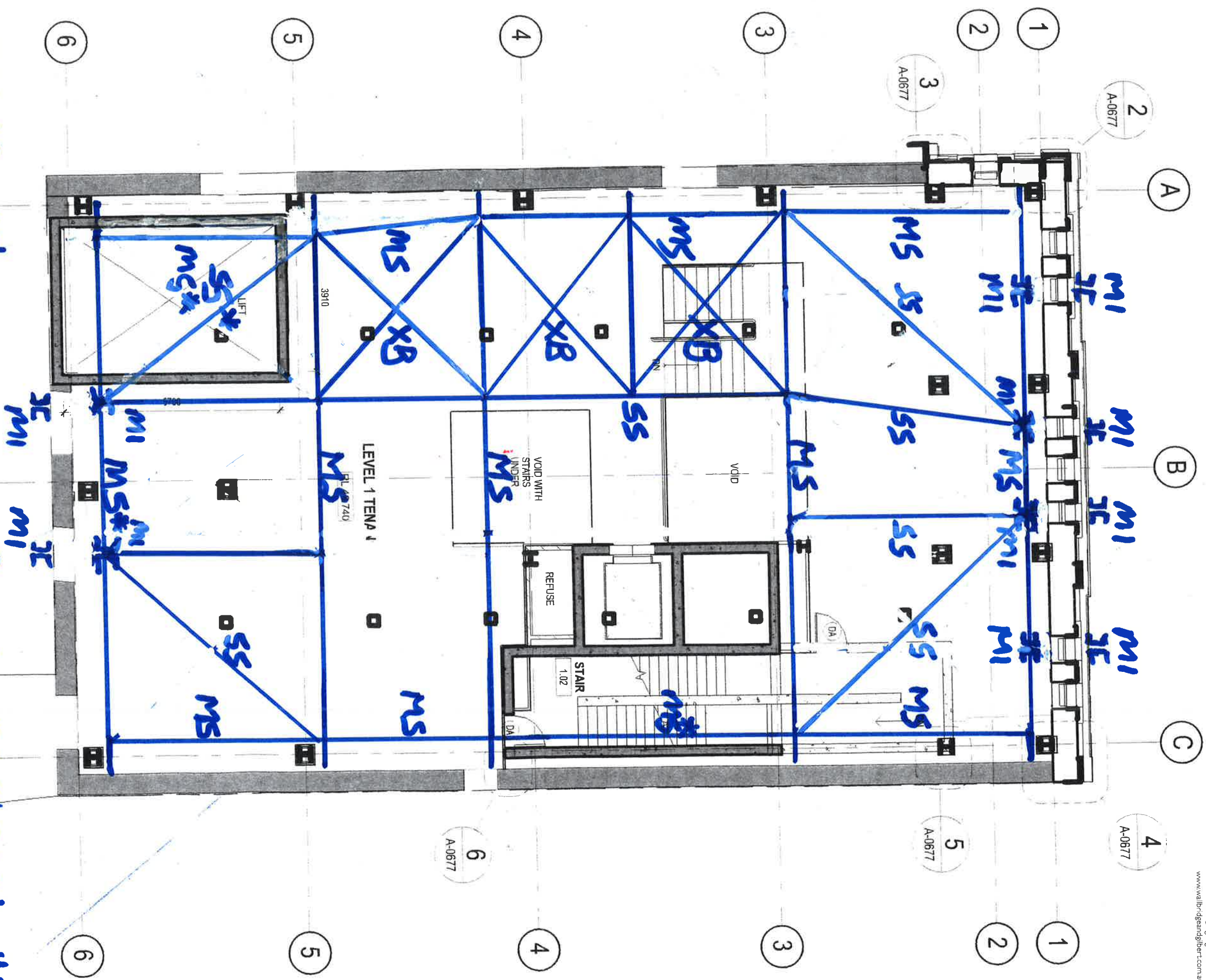
MS = Megashore
SS = Super Slim Shore
XB = Bar Tie (15mm)
* Denotes Members built into Insitu concrete shafts (sockets).

GROUND LEVEL BRACING

1 LEVEL GROUND FLOOR PLAN (At Existing RL)

A-0400 1:100

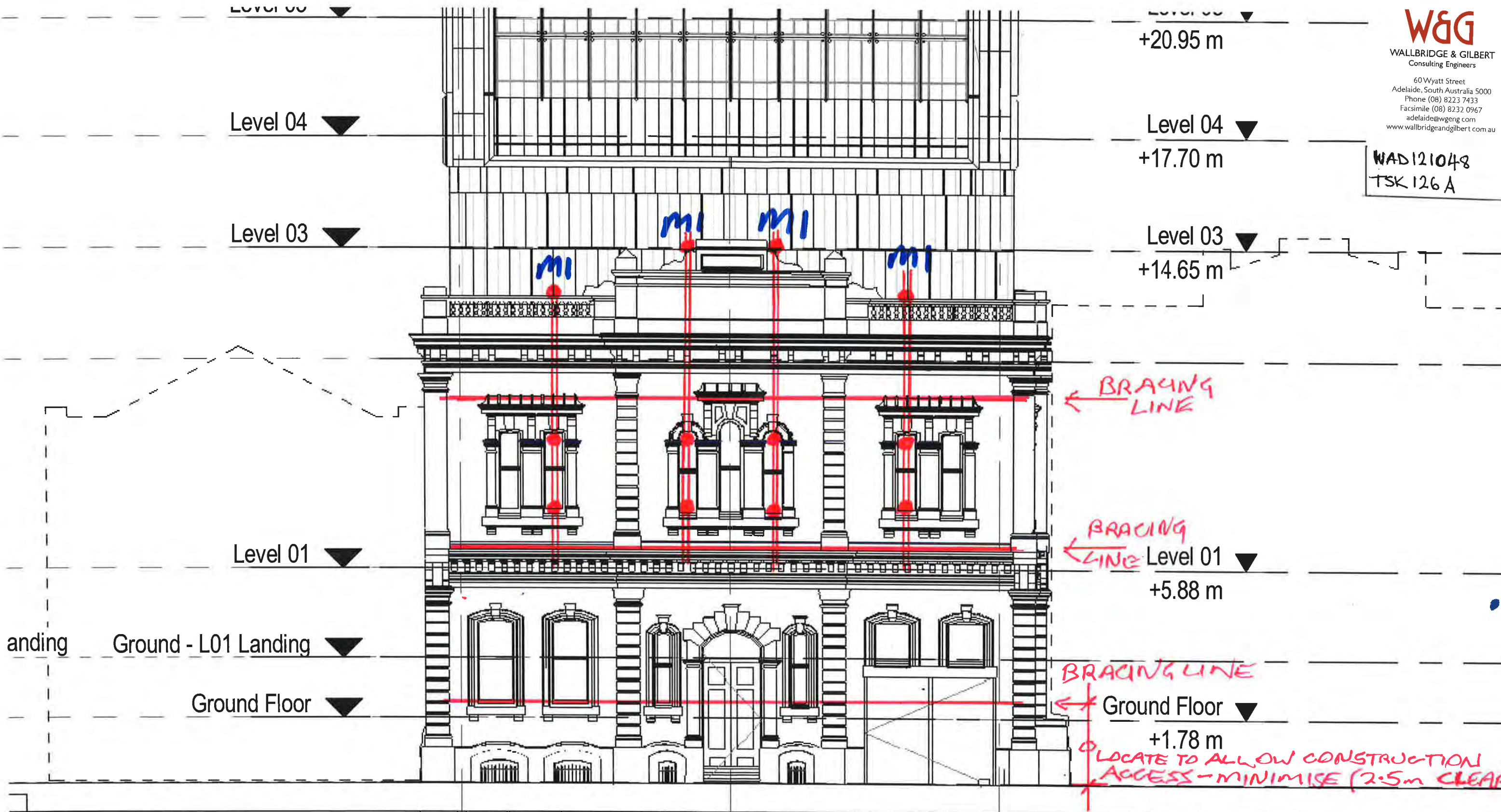
WAD 121048
TSK 110A



MS = Megashore
SS = Super Slim Shore
XB = Bar Tie (15mm)
* Denotes members built into in situ concrete shafts (pockets).

ROOF + LEVEL 1 BRACING

WAD121048
TSK 126 A



TION

NORTH ELEVATION BRACING

WAD121048
TSK 127 A

LOUVRE ZONE

Level 05 ▼
+20.95 m

Level 04 ▼
+17.70 m

Level 03 ▼
+14.65 m

Level 02 ▼
+11.60 m

Level 01 ▼
+5.88 m

Ground Floor ▼
+1.78 m

Lower Ground Floor ▼
-1.80 m

Street Level ▼

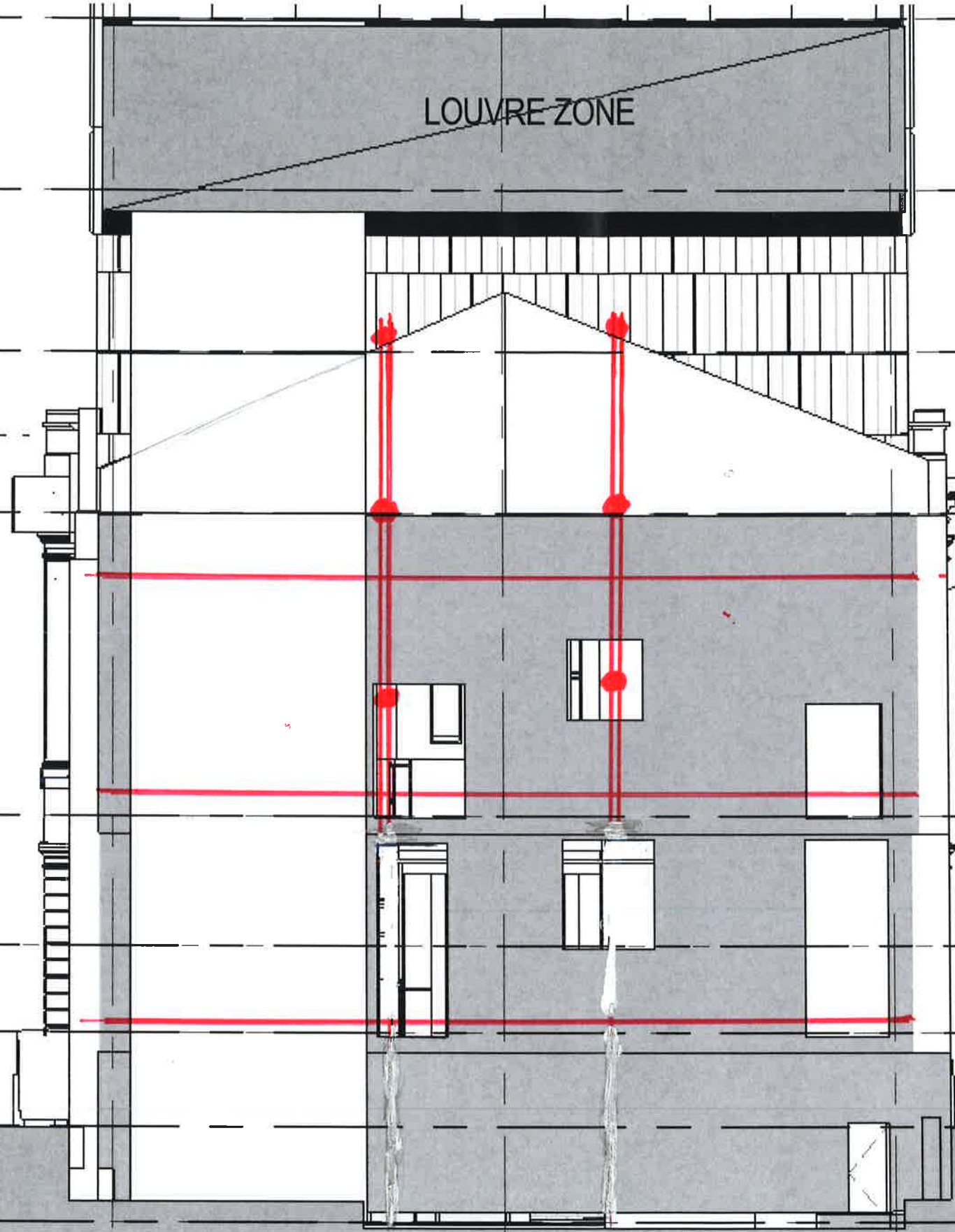
Ind Floor ▼

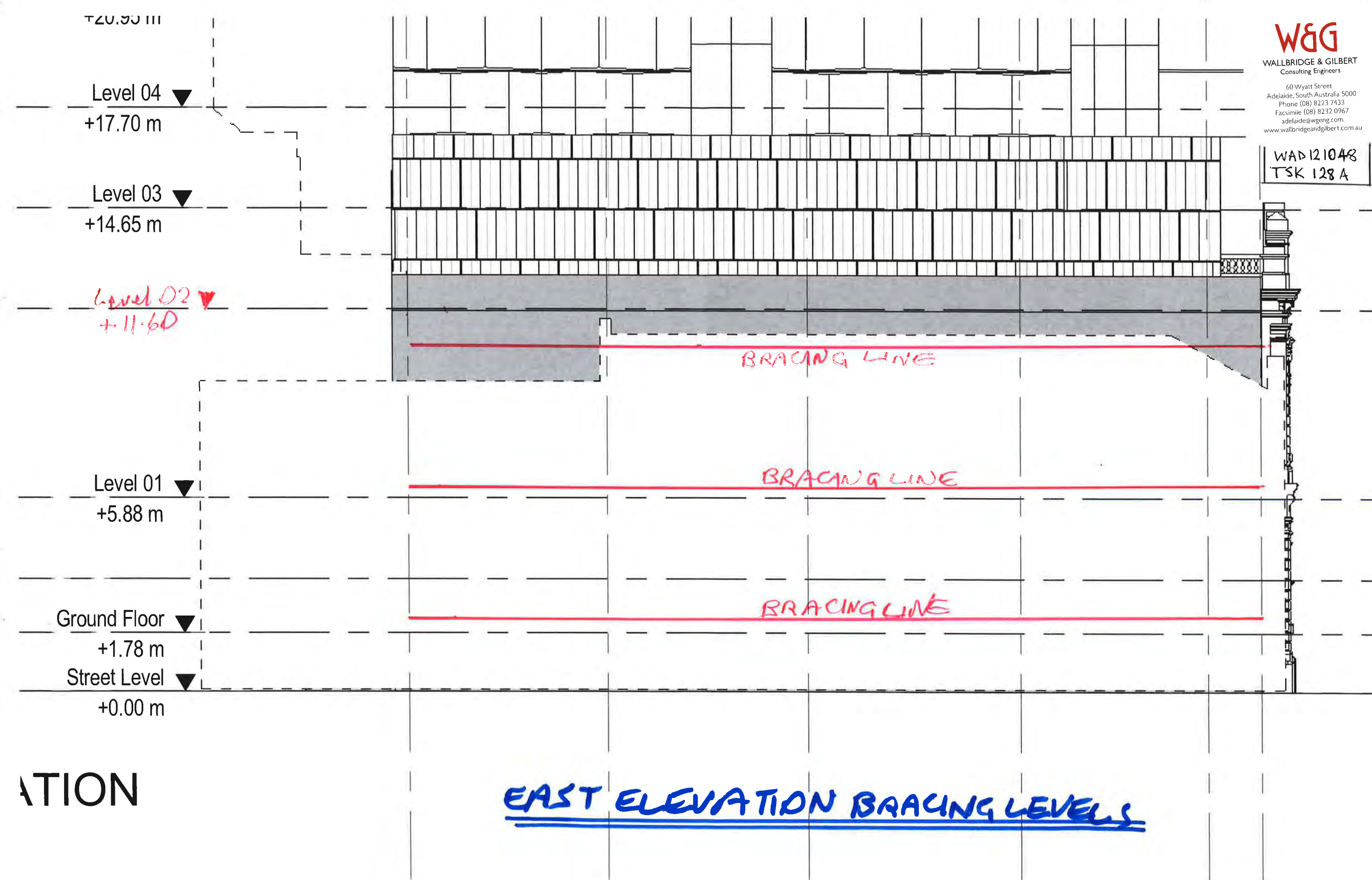
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SOUTH ELEVATION

1:200

SOUTH ELEVATION BRACING





ATION

CHES AND MATERIALS LEGEND

WAD121048
TSK129A

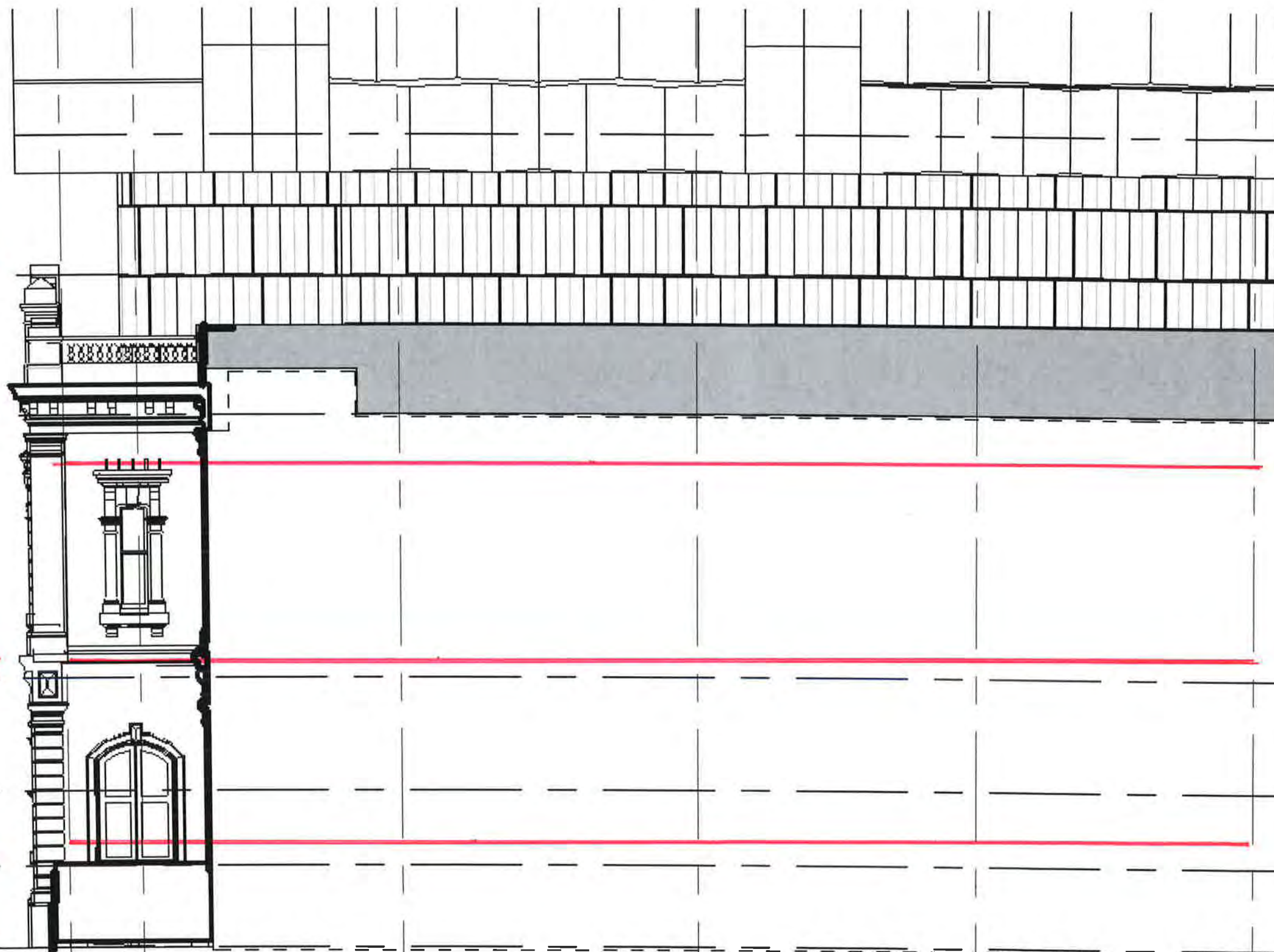
Level 03 ▼
+14.65

Level 02 ▼
+11.60

Level 01 ▼
+5.88

ground ▼
+1.78

street ▼
+0.00



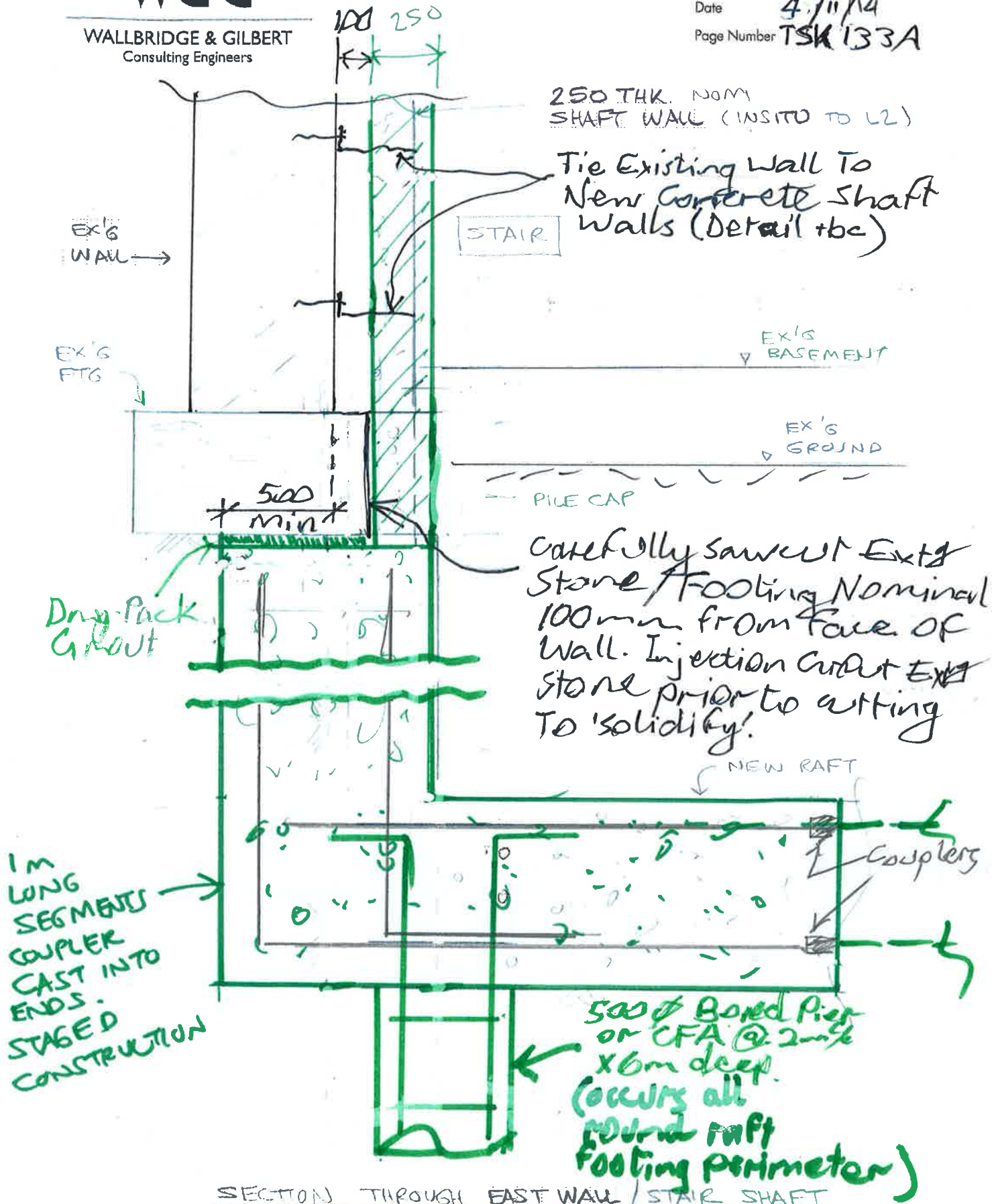
WEST ELEVATION BRACING LEVELS

TION

W&G

WALLBRIDGE & GILBERT
Consulting Engineers

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Designer NL/SMT
Date 4/11/14
Page Number TSK133A

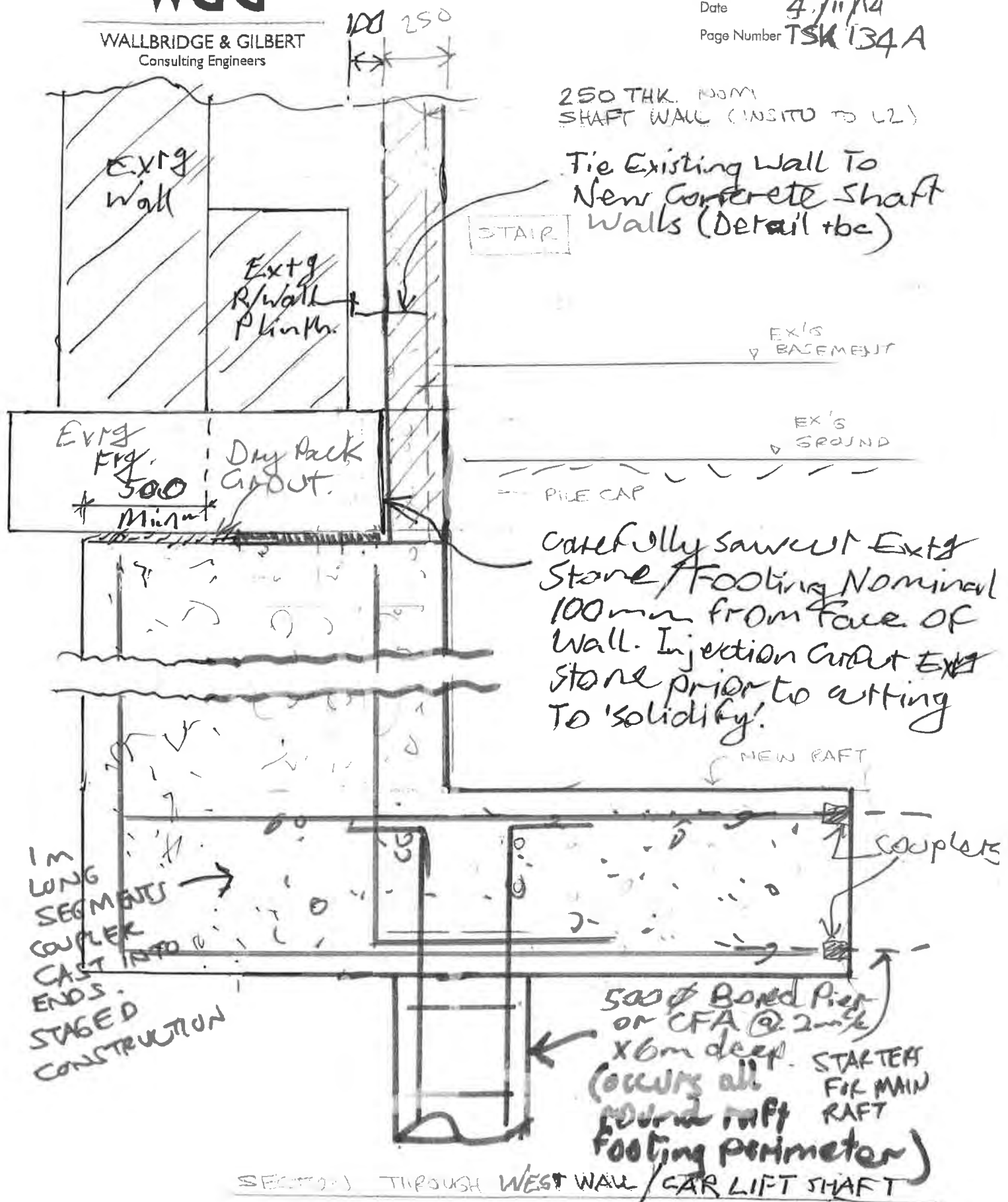


(Underpin Detail Similar All Round).
- Depth Varies

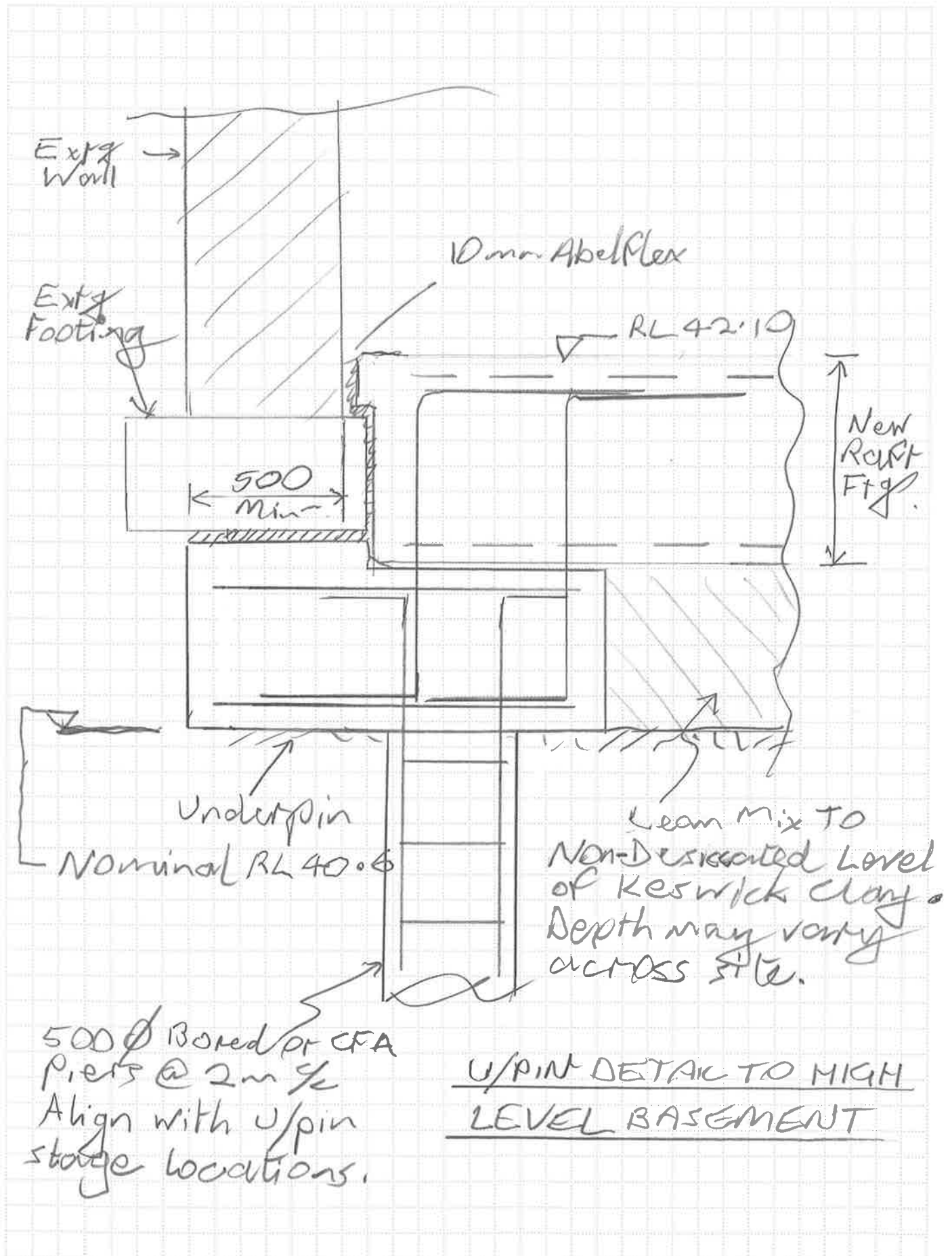
W&G

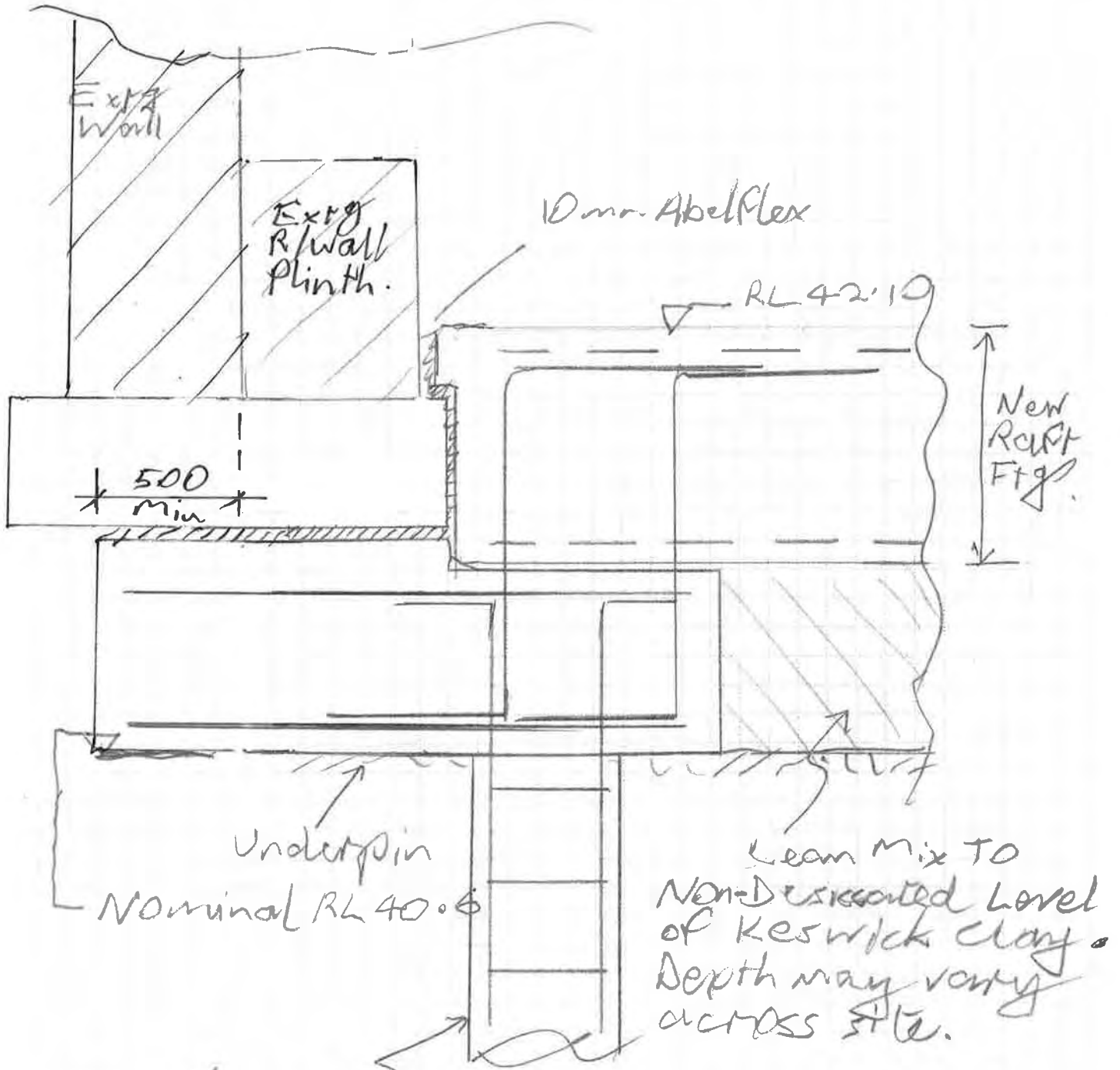
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Consulting Engineers

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Date 4/11/14
Page Number TSK 134 A



(Underpin Detail Similar All Round).
- Depth Varies

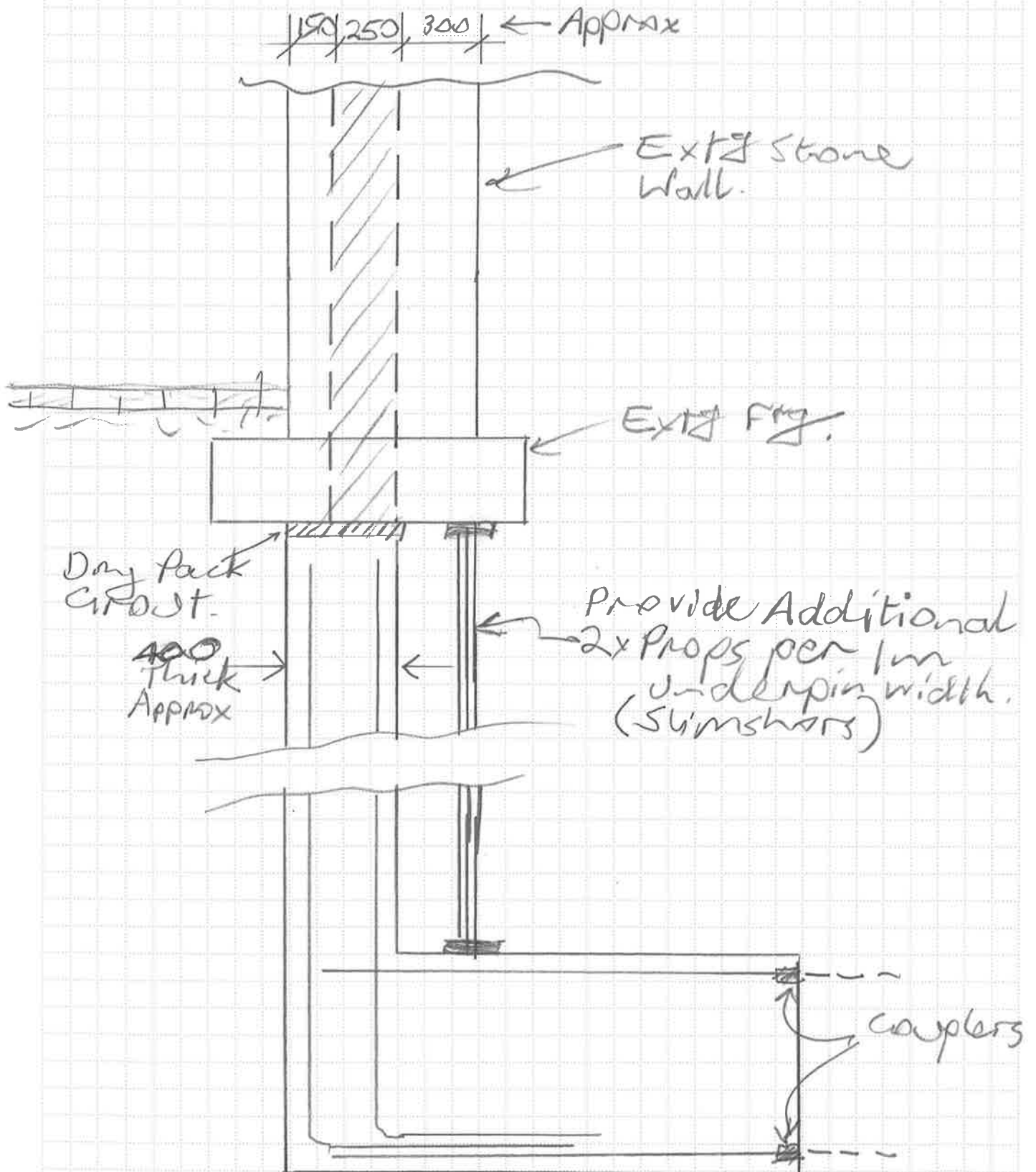




500 ϕ Bored or CFA
Piers @ 2m $\frac{1}{2}$
Align with up/in
stage locations.

U/PIN DETAIL TO HIGH
LEVEL BASEMENT
ADJACENT WEST WALL
PLINTH

250
Shaft
Inch



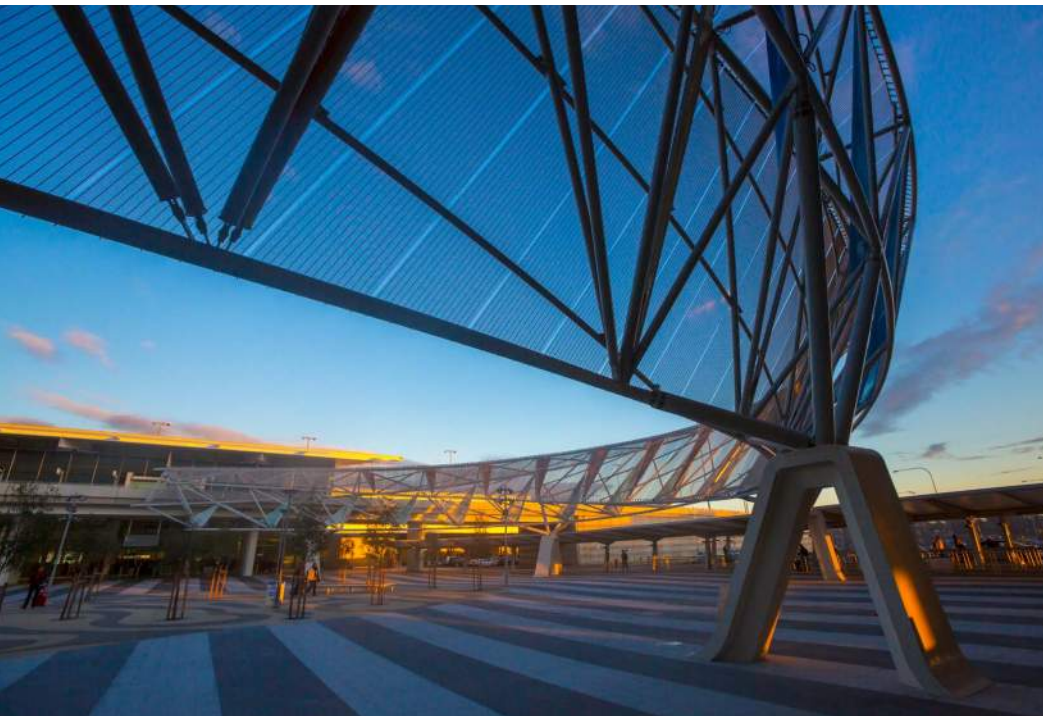
CAR LIFT REAR (SOUTH) WALL SECTION



WALLBRIDGE & GILBERT
Consulting Engineers



AZTEC ANALYSIS
Engineers & Project Managers



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INNOVATION
PROFESSIONALISM

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203 NORTH TERRACE ADELAIDE

A termite inspection was carried out by Gary Dennis and myself (Brian Calvert) on Tuesday 14/7/15 at 203 North Tce Adelaide we provide the following report and recommendations.

Due to the construction of the building we could not provide or offer any treatment options that would come with any form of warranty. In its current construction we could only spot treat activity as it comes to a head.

There is extensive termite damage evident on all levels from the ground floor floor boards to the roof joists at top. The walls of the building are constructed by stone and this also included the foundations. The building is also joined on 3 sides by other buildings this provides no access to these areas to be able to treat. Buildings of this construction are always going to be very high risk for termites

The majority of the joists and bearers are supported at their ends by resting in holes in the stone as supports, this was common of buildings constructed in this era unfortunately termites can use these areas as easy and undetected access into the timbers and in this present form makes ongoing protection from termite attack impossible.

In order to be able to provide termite control to this building we recommend the following.

All timbers on all levels should be replaced with termite resistant materials either treated timbers, concrete or steel "having timbers in these areas present a high risk".

The basement floor before the concrete slab is poured we recommend using a product manufactured by FMC called Homeguard this is an impregnated termite treated sheet that replaces the forticon and has a manufactures warranty of 25 years.

In addition regular inspections of the building will be required 3 to 4 times per year as this is a very high risk building that will require constant monitoring.

Adelaide Pest Control has been providing Pest Control solutions to South Australia for over 70 years and provides the above report and recommendations based on this experience.

If you have any questions on the above please do not hesitate to give me a call.

Assuring you of the best intentions and service at all times.

Yours Faithfully,
ADELAIDE PEST CONTROL

Mr Brian Calvert
TECHNICAL ADVISOR
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ATTACHMENT 6

DEVELOPMENT PLAN PROVISIONS

CAPITAL CITY ZONE

Introduction

The Desired Character, Objectives and Principles of Development Control that follow apply in the whole of the Capital City Zone shown on Maps Adel/17 to 20, 23 to 26 and 29 to 31. They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

Desired Character

This Zone is the economic and cultural focus of the State and includes a range of employment, community, educational, tourism and entertainment facilities. It is anticipated that an increased population within the Zone will complement the range of opportunities and experiences provided in the City and increase its vibrancy.

The Zone will be active during the day, evening and late night. Licensed entertainment premises, nightclubs and bars are encouraged throughout the Zone, particularly where they are located above or below ground floor level to maintain street level activation during the day and evening.

High-scale development is envisaged in the Zone with high street walls that frame the streets. However an interesting pedestrian environment and human scale will be created at ground floor levels through careful building articulation and fenestration, frequent openings in building façades, verandahs, balconies, awnings and other features that provide weather protection.

In important pedestrian areas, buildings will be set back at higher levels above the street wall to provide views to the sky and create a comfortable pedestrian environment. In narrow streets and laneways the street setback above the street wall may be relatively shallow or non-existent to create intimate spaces through a greater sense of enclosure. In the Central Business Policy Areas, upper level setbacks are not envisaged.

Non-residential land uses at ground floor level that generate high levels of pedestrian activity such as shops, cafés and restaurants will occur throughout the Zone. Within the Central Business Policy Area, residential land uses at ground level are discouraged. At ground level, development will continue to provide visual interest after hours by being well lit and having no external shutters.

There will also be a rich display of art that is accessible to the public and contextually relevant. Exemplary and outstanding building design is desired in recognition of the location as South Australia's capital. Contemporary juxtapositions will provide new settings for heritage places. Innovative forms are expected in areas of identified street character, referencing the past, but with emphasis on modern design-based responses that support optimal site development.

Adelaide's pattern of streets and squares

The distinctive grid pattern of Adelaide will be reinforced through the creation of a series of attractive boulevards as shown on Concept Plan Figures CC/1 and 2. These boulevards will provide a clear sense of arrival into the City and be characterised by buildings that are aligned to the street pattern, particularly at ground level.

Views to important civic landmarks, the Park Lands and the Adelaide Hills will be retained as an important part of the City's charm and character.

The City's boulevards, terraces and Squares will be developed as follows:

- (a) North Terrace will be reinforced as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile.
- (b) King William Street will be enhanced as the City's principal north-south boulevard and will be reinforced as the City's commercial spine.

(c) Grote Street-Wakefield Street will be enhanced as the City's principal east-west boulevard and will be developed to provide a strong frame that presents a sense of enclosure to the street.

(d) East Terrace will be characterised by buildings that maximise views through to the Park Lands and provide a distinct City edge.

(e) West Terrace will be reinforced as the western 'gateway' to the City centre and will form an imposing frontage to the western City edge. Buildings will be constructed to the front and side boundaries, and designed to maximise views through to the Park Lands. Corner sites at the junctions of West Terrace and the major east-west streets will be developed as strongly defined visual gateways to the City. This will provide an imposing frontage to the western edge of the City, which comprises a mixture of commercial, showroom and residential development.

(f) Pulteney and Morphett streets are key north-south boulevards. A sense of activation and enclosure of these streets will be enhanced through mixed use development with a strong built form edge. Pulteney Street will include residential, office and institutional uses, and retail activities. These boulevards will become important tree-lined commercial corridors.

(g) Currie, Grenfell, Franklin and Flinders streets, as wider east-west boulevards provide important entry points to the City. Currie and Grenfell streets will become a key focus for pedestrians, cycling and public transport. These streets also provide long views to the hills as their closing vistas and these view corridors should remain uncluttered.

(h) Victoria, Hindmarsh and Light Squares will have a continuous edge of medium to high-scale development that frames the Squares and increases ground level activity.

The Zone also includes a number of Main Street areas, encompassing Rundle Mall, Rundle Street, Hindley Street and Gouger Street, which are envisaged to have a wide range of retail, commercial and community uses that generate high levels of activity. These areas will have an intimately scaled built form with narrow and frequent building frontages. These areas are shown on Concept Plan Figures CC/1 and 2.

Minor streets and laneways will have a sense of enclosure (a tall street wall compared to street width) and an intimate, welcoming and comfortable pedestrian environment with buildings sited and composed in a way that responds to the buildings' context. There will be a strong emphasis on ground level activation through frequent window openings, land uses that spill out onto the footpath, and control of wind impacts.

Development in minor streets and laneways with a high value character will respond to important character elements and provide a comfortable pedestrian environment, particularly in the following streets: Gray, Leigh, Union, Chesser, Coromandel, Tucker, Cardwell, Kenton, Market, Ruthven, Cannon, Tatham, Bentham streets, Murrays Lane and Wright Court.

A comprehensive, safe and convenient movement network throughout the City will develop, focusing on the provision of linkages on both public and private land between important destinations and public transport. A high quality system of bicycle or shared pedestrian and bicycle routes will be established within the Zone.

OBJECTIVES

General

Objective 1: The principal focus for the economic, social and political life of metropolitan Adelaide and the State.

Objective 2: A vibrant mix of commercial, retail, professional services, hospitality, entertainment, educational facilities, and medium and high density living.

Objective 3: Design and management of City living to ensure the compatibility of residential amenity with the essential commercial and leisure functions of the Zone.

Objective 4: City streets that provide a comfortable pedestrian environment.

Objective 5: Innovative design approaches and contemporary architecture that respond to a building's context.

Objective 6: Buildings that reinforce the gridded layout of Adelaide's streets and respond to the underlying built-form framework of the City.

Objective 7: Large sites developed to their full potential while ensuring a cohesive scale of development and responding to a building's context.

Objective 8: Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

1 The following types of development, or combinations thereof, are envisaged:

Affordable housing
Aged persons accommodation
Community centre
Consulting room
Convention centre
Dwelling
Educational establishment
Emergency services facility
Hospital
Hotel
Indoor recreation centre
Licensed entertainment premises
Library
Motel
Office
Pre-school
Personal service establishment
Place of worship
Serviced apartment
Restaurant
Residential flat building
Student accommodation
Shop or group of shops
Tourist accommodation

2 Land uses that are typically closed during the day should be designed to maximise daytime and evening activation at street level and be compatible with surrounding land uses, in particular residential development.

3 Low impact industries should be located outside the Central Business Policy Area and have minimal off-site impacts with respect to noise, air, water and waste emissions, traffic generation and movement.

4 Development listed as non-complying is generally inappropriate.

Form and Character

5 Development should be consistent with the Desired Character for the Zone.

Design and Appearance

6 Development should be of a high standard of architectural design and finish which is appropriate to the City's role and image as the capital of the State.

7 Buildings should present an attractive pedestrian-oriented frontage that adds interest and vitality to City streets and laneways.

8 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street level activation.

9 Providing footpath widths and street tree growth permit, development should contribute to the comfort of pedestrians through the incorporation of verandahs, balconies, awnings and/or canopies that provide pedestrian shelter.

10 Buildings should be positioned regularly on the site and built to the street frontage, except where a setback is required to accommodate outdoor dining or provide a contextual response to a heritage place.

11 Other than in the Central Business Policy Area, buildings should be designed to include a podium/street wall height and upper level setback (in the order of 3-6 metres) that:

- (a) relates to the width of the street and achieves a suitable level of enclosure to the public realm;
- (b) provides a human scale at street level;
- (c) creates a well-defined and continuity of frontage;
- (d) gives emphasis and definition to street corners to clearly define the street grid;
- (e) contributes to the interest, vitality and security of the pedestrian environment;
- (f) maintains a sense of openness to the sky for pedestrians and brings daylight to the street; and
- (g) achieves pedestrian comfort by minimising micro climatic impacts (particularly wind tunnelling and downward drafts).

12 Buildings north of Rundle Mall, Rundle Street, Hindley Street and Gouger Street should have a built form that incorporates slender tower elements, spaces between buildings or other design techniques that enable sunlight access to the southern footpath.

13 Buildings, advertisements, site landscaping, street planting and paving should have an integrated, coordinated appearance and should enhance the urban environment.

14 Building façades should be strongly modelled, incorporate a vertical composition which reflects the proportions of existing frontages, and ensure that architectural detailing is consistent around corners and along minor streets and laneways.

The Squares (Victoria, Hindmarsh and Light)

15 Outdoor eating and drinking facilities associated with cafés and restaurants are appropriate ground floor uses and should contribute to the vitality of the Squares and create a focus for leisure.

16 Buildings fronting the Squares should:

- (a) provide a comfortable pedestrian and recreation environment by enabling direct sunlight to a minimum of 75 percent of the landscaped part of each Square at the September equinox; and
- (b) reinforce the enclosure of the Squares with a continuous built-form with no upper level set-backs.

The Terraces (North, East and West)

17 Development along the terraces should contribute to a continuous built form to frame the City edge and activate the Park Lands.

18 Development along North Terrace should reinforce the predominant scale and 'City wall' character of the Terrace frontage.

Building Height

19 Development should generally be compatible with the overall desired city form and not exceed the maximum building height shown in Concept Plan Figures CC/1 and 2; unless it meets one or more of the following:

- (a) the proposed building is located in one of the following areas:
 - (i) fronting North Terrace, West Terrace or East Terrace and/or at the junction of two City boulevards shown in Concept Plan Figures CC/1 and 2;
 - (ii) on an allotment with frontage to Light Square;
 - (iii) within 200 metres of a high concentration public transport route identified on Map Adel/1 (Overlay 4);
- (b) the site area is greater than 1500 square metres and has side or rear vehicle access;
- (c) the development provides an orderly transition up to an existing taller building or prescribed maximum building height in an adjoining Zone or Policy Area;
- (d) the proposal incorporates the retention and conservation of a character building.

20 Development should have optimal height and floor space yields to take advantage of the premium City location and should have a building height no less than half the maximum shown on Concept Plan Figures CC/1 and 2, or 28 metres in the Central Business Policy Area, except where one or more of the following applies:

- (a) a lower building height is necessary to achieve compliance with the Commonwealth Airports (Protection of Airspace) Regulations;
- (b) the site is adjacent to the City Living Zone or the Adelaide Historic (Conservation) Zone and a lesser building height is required to manage the interface with low-rise residential development;
- (c) the site is adjacent to a heritage place, or includes a heritage place;
- (d) the development includes the construction of a building in the same, or substantially the same, position as a building which was demolished, as a result of significant damage caused by an event, within the previous 3 years where the new building has the same, or substantially the same, layout and external appearance as the previous building.

Interface

21 Development should manage the interface with the City Living Zone or the Adelaide Historic (Conservation) Zone in relation to building height, overshadowing, massing, building proportions and traffic impacts and should avoid land uses, or intensity of land uses, that adversely affect residential amenity.

22 Development on all sites on the southern side of Gouger Street - Angas Street and adjacent to a northern boundary of the City Living Zone or the Adelaide Historic (Conservation) Zone should not exceed 22 metres in building height unless the Council Wide overshadowing Principles of Development Control are met.

Movement

23 Pedestrian movement should be based on a network of pedestrian malls, arcades and lanes, linking the surrounding Zones and giving a variety of north-south and east-west links.

24 Development should provide pedestrian linkages for safe and convenient movement with arcades and lanes clearly designated and well-lit to encourage pedestrian access to public transport and areas of activity. Blank surfaces, shutters and solid infills lining such routes should be avoided.

25 Development should ensure existing through-site and on-street pedestrian links are maintained and new pedestrian links are developed in accordance with Map Adel/1 (Overlay 2A).

26 Car parking should be provided in accordance with Table Adel/7.

27 Multi-level car parks should locate vehicle access points away from the primary street frontage wherever possible and should not be located:

(a) within any of the following areas:

(i) the Core Pedestrian Area identified in Map Adel/1 (Overlays 2, 2A and 3)

(ii) on frontages to North Terrace, East Terrace, Rundle Street, Hindley Street, Currie Street, Waymouth Street (east of Light Square), Victoria Square or King William Street;

(b) where they conflict with existing or projected pedestrian movement and/or activity;

(c) where they would cause undue disruption to traffic flow; and

(d) where it involves creating new crossovers in North Terrace, Rundle Street, Hindley Street, Currie Street and Waymouth Street (east of Light Square), Grenfell Street and Pirie Street (west of Pulteney Street), Victoria Square, Light Square, Hindmarsh Square, Gawler Place and King William Street or access across primary City access and secondary City access roads identified in Map Adel/1 (Overlay 1).

28 Multi-level, non-ancillary car parks are inappropriate within the Core Pedestrian Area as shown on Map Adel/1 (Overlays 2, 2A and 3).

29 Vehicle parking spaces and multi-level vehicle parking structures within buildings should:

(a) enhance active street frontages by providing land uses such as commercial, retail or other non-car park uses along ground floor street frontages;

(b) complement the surrounding built form in terms of height, massing and scale; and

(c) incorporate façade treatments along major street frontages that are sufficiently enclosed and detailed to complement neighbouring buildings consistent with the Desired Character of the locality.

Advertising

30 Other than signs along Hindley Street, advertisements should use simple graphics and be restrained in their size, design and colour.

31 In minor streets and laneways, a greater diversity of type, shape, numbers and design of advertisements are appropriate provided they are of a small-scale and located to present a consistent message band to pedestrians.

32 There should be an overall consistency achieved by advertisements along individual street frontages.

33 In Chesser Street, French Street and Coromandel Place advertisements should be small and preferably square and should not be located more than 3.7 metres above natural ground level or an abutting footpath or street. However, advertisements in these streets may be considered above 3.7 metres at locations near the intersections with major streets.

34 Advertisements on the Currie Street frontages between Topham Mall and Gilbert Place and its north-south prolongation should be of a size, shape and location complementary to the desired townscape character, with particular regard to the following:

(a) On the southern side of Currie Street, advertisements should be fixed with their underside at a common height, except where the architectural detailing of building façades precludes it. At this 'canopy' level advertisements should be of a uniform size and fixed without the support of guy wires. Where architectural detailing permits, advertisements may mark the major entrances to buildings along the southern side of Currie Street with vertical projecting advertisements 1.5 metres high by 1.2 metres wide at, or marginally above, the existing canopy level. Painted wall or window signs should be restrained.

(b) On the northern side of Currie Street, advertisements should be of a uniform fixing height and consistent dimensions to match those prevailing in the area.

PROCEDURAL MATTERS

Complying Development

35 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development are assigned as **complying**:

(a) Other than in relation to a State heritage place, Local heritage place (City Significance), or Local heritage place, work undertaken within a building which does not involve a change of use or affect the external appearance of the building;

(b) Temporary depot for Council for a period of no more than 3 months where it can be demonstrated that appropriate provision has been made for:

- (i) dust control;
- (ii) screening, including landscaping;
- (iii) containment of litter and water; and
- (iv) securing of the site.

(c) Change in the use of land from a non-residential use to an office, shop or consulting room (excluding any retail showroom, adult entertainment premises, adult products and services premises or licensed premises).

Non-complying Development

36 The following kinds of development are **non-complying**:

A change in use of land to any of the following:

Amusement machine centre
Advertisements involving any of the following:

(a) Third party advertising except on Hindley Street, Rundle Mall or on allotments at the intersection of Rundle Street and Pulteney Street frontages (except where fronting King William Street), or temporary advertisements on construction sites;

(b) Advertisements located at roof level where the sky or another building forms the background when viewed from ground level;

(c) Advertisements in the area bounded by West Terrace, Grote Street, Franklin Street and Gray Street;

(d) Animation of advertisements along and adjacent to the North Terrace, King William Street and Victoria Square frontages.

Demolition of a State heritage place (as identified in Table Adel/1)
Vehicle parking except:

(a) where it is ancillary to an approved or existing use;

(b) it is a multi-level car park located outside the Core Pedestrian Area as indicated on Map Adel/1 (Overlay 2, 2A and 3); or

(c) it is within an existing building located outside the Core Pedestrian Area as indicated on Map Adel/1 (Overlay 2, 2A and 3).

Public Notification

37 Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development, or any combination of (except where the development is non-complying), are assigned:

(a) **Category 1**, public notification not required:

All forms of development other than where it is assigned Category 2.

(b) **Category 2**, public notification required. Third parties do not have any appeal rights.

Any development where the site of the development is adjacent land to land in a Residential Zone and it exceeds 22 metres in building height.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

Central Business Policy Area 13

Introduction

The Objectives and Principles of Development Control that follow apply to the Policy Area as shown on Maps Adel/49, 50, 55 and 56. They are additional to those expressed for the Zone and, in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Policy Area.

DESIRED CHARACTER

The Central Business Policy Area is the pre-eminent economic, governance and cultural hub for the State. This role will be supported by educational, hospitality and entertainment activities and increased opportunities for residential, student and tourist accommodation.

Buildings will exhibit innovative design approaches and produce stylish and evocative architecture, including tall and imposing buildings that provide a hard edge to the street and are of the highest design quality. A wide variety of design outcomes of enduring appeal are expected. Complementary and harmonious buildings in individual streets will create localised character and legible differences between streets, founded on the existing activity focus, building and settlement patterns, and street widths.

OBJECTIVES

Objective 1: A concentration of employment, governance, entertainment and residential land uses that form the heart of the City and central place for the State.

Objective 2: Development of a high standard of design and external appearance that integrates with the public realm.

Objective 3: Development that contributes to the Desired Character of the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

1 Development should contribute to the area's role and function as the State's premier business district, having the highest concentration of office, retail, mixed business, cultural, public administration, hospitality, educational and tourist activities.

2 Buildings should be of a height that ensures airport operational safety is not adversely affected.

3 To enable an activated street level, residential development or similar should be located above ground floor level.

COUNCIL WIDE

On-Site Parking and Fencing

OBJECTIVE

Objective 23: Safe and convenient on-site car parking for resident and visitor vehicles.

PRINCIPLES OF DEVELOPMENT CONTROL

76 Garages and parking structures associated with medium to high scale residential or serviced apartment development should be located so that they do not visually dominate the street frontage.

78 Where garages are located within a basement or undercroft:

(a) the width of access driveways should be kept to a minimum and should not detract from the streetscape;

(b) driveways should be designed to ensure safe and convenient access and egress;

(c) access should be restricted to one driveway or one point of access and egress;

(d) vehicles should be able to safely exit in a forward direction and should not compromise pedestrian safety or cause conflict with other vehicles; and

(e) the height of the car park ceiling should not exceed one metre above the finished ground floor level to ensure minimal impact on the streetscape.

Heritage and Conservation

OBJECTIVES

Objective 42: Acknowledge the diversity of Adelaide's cultural heritage from pre-European occupation to current time through the conservation of heritage places and retention of their heritage value.

Objective 43: Development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.

Objective 44: Continued use or adaptive reuse of the land, buildings and structures comprising a heritage place.

Objective 45: Recognition of Aboriginal sites, items and areas which are of social, archaeological, cultural, mythological or anthropological significance.

PRINCIPLES OF DEVELOPMENT CONTROL

General

136 Development of a heritage place should conserve the elements of heritage value as identified in the relevant Tables.

137 Development affecting a State heritage place (Table Adel/1), Local heritage place (Table Adel/2), Local heritage place (City Significance) (Table Adel/3) or Local heritage place (Townscape) (Table Adel/4), including:

- (a) adaptation to a new use;
- (b) additional construction;
- (c) part demolition;
- (d) alterations; or
- (e) conservation works;

should facilitate its continued or adaptive use, and utilise materials, finishes, setbacks, scale and other built form qualities that are complementary to the heritage place.

138 A local heritage place (as identified in Tables Adel/2, 3 or 4) or the Elements of Heritage Value (as identified in Table Adel/2) should not be demolished unless it can be demonstrated that the place, or those Elements of Heritage Value that are proposed to be demolished, have become so distressed in condition or diminished in integrity that the remaining fabric is no longer capable of adequately representing its heritage value as a local heritage place.

139 Development of Local Heritage Places (Townscape) should occur behind retention depths (as established from the street facade of the heritage place) of 6 metres in non-residential Zones and Policy Areas, and 4 metres in the City Living Zone or the Adelaide Historic (Conservation) Zone or as otherwise indicated in the heritage Tables in respect of frontages and side wall returns.

140 Development on land adjacent to a heritage place in non-residential Zones or Policy Areas should incorporate design elements, including where it comprises an innovative contemporary design, that:

- (a) utilise materials, finishes, and other built form qualities that complement the adjacent heritage place; and
- (b) is located no closer to the primary street frontage than the adjacent heritage place.

142 Development that abuts the built form/fabric of a heritage place should be carefully integrated, generally being located behind or at the side of the heritage place and without necessarily replicating historic detailing, so as to retain the heritage value of the heritage place.

157 A local heritage place should not be demolished or removed, in whole or in part, unless:

- (a) the portion of the place to be demolished or removed does not diminish the heritage value of the local heritage place; or
- (b) the structural condition of the place is seriously unsound and cannot be rehabilitated.

Development on Land Adjacent to a Heritage Place

162 Development on land adjacent to land containing a Heritage Place should demonstrate design consideration of the relationship with the Heritage Place (without necessarily replicating its historic detailing) by establishing compatible:

- (a) scale, bulk and setbacks;

- (b) proportion and composition of design elements;
- (c) form and visual interest (as determined by play of light and shade, treatments of openings and depths of reveals, roofline and silhouette, colour and texture of materials and details, landscaping and fencing);
- (d) width of frontage and boundary set-back patterns; and
- (e) vehicle access and carparking arrangements.

163 Development on land adjacent to a Heritage Place and sited in prominent locations, such as corners or at the termination of vistas where a strong presence is desirable, should have a scale and detail equal to that of the Heritage Place.

164 In a locality where single-storey Heritage Places prevail at or close to the primary street frontage, single storey development and a consistent building set-back should be maintained. Sympathetically designed second storey components that utilise or extend roof space to the rear of a building may be appropriate subject to scale, views from the street, overshadowing and privacy considerations.

165 Development that is visible from the street should match the building levels and storey heights of adjacent Heritage Places.