

APPLICATION ON NOTIFICATION – CATEGORY 2

Applicant:	CR Lindner Nominees c/- Masterplan SA Pty Ltd
Development Number:	313/L006/16 V1
Nature of Development:	Variation to DA 313/L006/16: demolition of a contributory item and construction of a supermarket. The variation comprises amendments to the supermarket design (internal and external) and site engineering including site levels, retaining walls, car parking layout and landscaping.
Type of development:	Merit
Zone / Policy Area:	District Centre Zone, Precinct 1 Commercial Kapunda
Subject Land:	113 Main Street, Kapunda
Contact Officer:	Laura Kerber
Phone Number:	7109 7073
Start Date:	16 August 2017
Close Date:	30 August 2017
<p>During the notification period, hard copies of the application documentation can be viewed at the Department of Planning, Transport and Infrastructure, Level 5, 50 Flinders St, Adelaide, during normal business hours. Application documentation may also be viewed during normal business hours at the local Council office.</p>	

Written representations must be received by the close date (indicated above) and can either be posted, hand-delivered or emailed to the State Commission Assessment Panel.

Any representations received after the close date will not be considered.

Postal Address:

The Secretary
State Commission Assessment Panel
GPO Box 1815
ADELAIDE SA 5001

Street Address:

Development Division
Department of Planning, Transport and Infrastructure
Level 5, 50 Flinders St
ADELAIDE SA 5000

Email Address: scapadmin@sa.gov.au

**SOUTH AUSTRALIAN DEVELOPMENT ACT, 1993
REPRESENTATION ON APPLICATION – CATEGORY 2**

Applicant:	CR Lindner Nominees c/- Masterplan SA Pty Ltd
Development Number:	313/L006/16 V1
Nature of Development:	Variation to DA 313/L006/16: demolition of a contributory item and construction of a supermarket. The variation comprises amendments to the supermarket design (internal and external) and site engineering including site levels, retaining walls, car parking layout and landscaping.
Type of development:	Merit
Zone / Policy Area:	District Centre Zone, Precinct 1 Commercial Kapunda
Subject Land:	113 Main Street, Kapunda
Contact Officer:	Laura Kerber
Phone Number:	7109 7073
Close Date:	30 August 2017

My name: _____

My phone number: _____

PRIMARY METHOD(S) OF CONTACT: Email address: _____
Postal address: _____
_____ Postcode _____

You may be contacted via your nominated PRIMARY METHOD(s) OF CONTACT if you indicate below that you wish to be heard in support of your submission.

My interests are: ☐ owner of local property
 ☐ occupier of local property
 ☐ a representative of a company/other organisation affected by the proposal
 ☐ a private citizen

The address of the property affected is _____ Postcode _____

The specific aspects of the application to which I make comment on are:

Should the Development Assessment Commission conduct a public hearing for this Development Application:

I ☐ wish to be heard in support of my submission
 ☐ do not wish to be heard in support of my submission
 (Please tick one)

By ☐ appearing personally
 ☐ being represented by the following person:
 (Please tick one)

Date _____ Signature _____

Return Address: The Secretary, State Commission Assessment Panel, GPO Box 1815, Adelaide SA 5001 or scapadmin@sa.gov.au.

DEVELOPMENT APPLICATION FORM

COUNCIL: LIGHT REGIONAL COUNCIL

APPLICANT: CR LINDNER NOMINEES PTY LTD

Postal Address: C/- MASTERPLAN SA PTY LTD

33 CARRINGTON STREET ADELAIDE SA 5000

OWNER: CR LINDNER NOMINEES AND EFCOS PTY LTD

Postal Address: C/- PO BOX 382 TANUNDA SA 5352

BUILDER: TO BE ADVISED

Postal Address: _____

Licence No: _____

CONTACT PERSON FOR FURTHER INFORMATION:

Name: GRAHAM BURNS - MASTERPLAN SA PTY LTD

Telephone: 8193 5600

Email: GRAHAMB@MASTERPLAN.COM.AU

Mobile: 0413 832 602

EXISTING USE:

APPROVED SUPERMARKET & ASSOCIATED FACILITIES: 313/L006/16

FOR OFFICE USE

Development No: _____

Previous Development No: _____

Assessment No: _____

☐ Complying

☐ Non-complying

☐ Notification Cat 2

☐ Notification Cat 3

☐ Referrals/Concurrence

☐ DA Commission

Application forwarded to DA

Commission/Council on:

/ /

Decision:

Type:

Date:

/ /

	Decision	Fees	Receipt No	Date
Planning:				
Building:				
Land Division:				
Additional:				
Dev Approval:				

DESCRIPTION OF PROPOSED DEVELOPMENT: VARIATION TO APPROVED DEVELOPMENT UNDER SECTION 39(6) DEVELOPMENT ACT

LOCATION OF PROPOSED DEVELOPMENT:

House No: 113 Lot No: 1,91,101,102 Street: MAIN & CARRINGTON STREET Town/Suburb: KAPUNDA
301, 92, 300

Section No (full/part): _____ Hundred: KAPUNDA Volume: 5866 Folio: 11

Volume: 5439 Folio: 725

5439 729

5439 722

5439 728

5866 10

LAND DIVISION:

Site Area (m²): _____ Reserve Area (m²): _____ No of Existing Allotments: _____

Number of Additional Allotments - (Excluding Road and Reserve): _____ Lease: YES: ☐ NO: ☐

BUILDING RULES CLASSIFICATION SOUGHT:

If Class 5, 6, 7, 8 or 9 classification is sought, state the proposed number of employees: Female: _____ Male: _____

If Class 9a classification is sought, state the number of persons for whom accommodation is required: _____

If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises: _____

DOES EITHER SCHEDULE 21 OR 22 OF THE DEVELOPMENT REGULATIONS 2008 APPLY?

YES: ☐

NO: ☒

HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 1993 LEVY BEEN PAID?

YES: ☐

NO: ☒

DEVELOPMENT COST (Do not include any fit-out costs): \$ NIL

DEVELOPMENT REGULATIONS 2008

Form of Declaration

(Schedule 5, Clause 2A)

To: Development Assessment Commission
From: MasterPlan SA Pty Ltd on behalf of CR Lindner Nominees Pty Ltd
Date of Application: 11 July 2017

Location of Proposed Development:

House Number:	113	Lot Numbers:	1,91,101, 101,102,301,92,300
Street:	Main and Carrington Streets	Town/Suburb:	Kapunda
Section No (full/part):	-	Hundred:	Kapunda
Volumes:	5866	Folios:	11
	5439		725
	5439		729
	5439		722
	5439		728
	5866		10

Nature of Proposed Development:

Variation to approved and operative development for a supermarket, off street parking, loading, unloading and landscaping, pursuant to Section 39(6) Development Act 1993.

I, Graham Burns, being the person acting on behalf of the applicant CR Lindner Nominees Pty Ltd for the development described above, declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of Section 86 of the *Electricity Act 1996*. I make this declaration under Clause 2A(1) of Schedule 5 of the *Development Regulations 2008*.

14 July 2017

Date



Signed: GA Burns for CR Lindner
Nominees Pty Ltd – Applicant

Note 1

This declaration is only relevant to those development applications seeking authorisation for a form of development that involves the construction of a building (there is a definition of 'building' contained in Section 4(1) of the *Development Act 1993*), other than where the development is limited to:

- an internal alteration of a building; or
- an alteration to the walls of a building but not so as to alter the shape of the building.

Note 2

The requirements of Section 86 of the *Electricity Act 1996* do not apply in relation to:

- a fence that is less than 2.0 m in height; or
- a service line installed specifically to supply electricity to the building or structure by the operator of the transmission or distribution network from which the electricity is being supplied.

Note 3

Section 86 of the *Electricity Act 1996* refers to the erection of buildings in proximity to powerlines. The regulations under this Act prescribe minimum safe clearance distances that must be complied with.

Note 4

The majority of applications will not have any powerline issues, as normal residential setbacks often cause the building to comply with the prescribed powerline clearance distances. Buildings/renovations located far away from powerlines, for example towards the back of properties, will usually comply.

Particular care needs to be taken where high voltage powerlines exist; where the development:

- is on a major road;
- commercial/industrial in nature; or
- built to the property boundary.

Note 5

Information brochures 'Powerline Clearance Guide' and 'Building Safely Near Powerlines' have been prepared by the Technical Regulator to assist applicants and other interested persons. Copies of these brochures are available from Council and the Office of the Technical Regulator. The brochures and other relevant information can also be found at www.technicalregulator.sa.gov.au

Note 6

In cases where applicants have obtained a written approval from the Technical Regulator to build the development specified above in its current form within the prescribed clearance distances, the applicant is able to sign the form.



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5439 FOLIO 722 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 4171/220
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : BTPL BOX NO : 000	DATE OF ISSUE : 01/08/1997
SEARCHED ON : 26/08/2014 AT : 09:40:39	EDITION : 6
CLIENT REF 12177	

REGISTERED PROPRIETOR IN FEE SIMPLE

C.R. LINDNER NOMINEES PTY. LTD. OF PO BOX 382 TANUNDA SA 5352

DESCRIPTION OF LAND

ALLOTMENT 1 FILED PLAN 2858
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

11165209 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

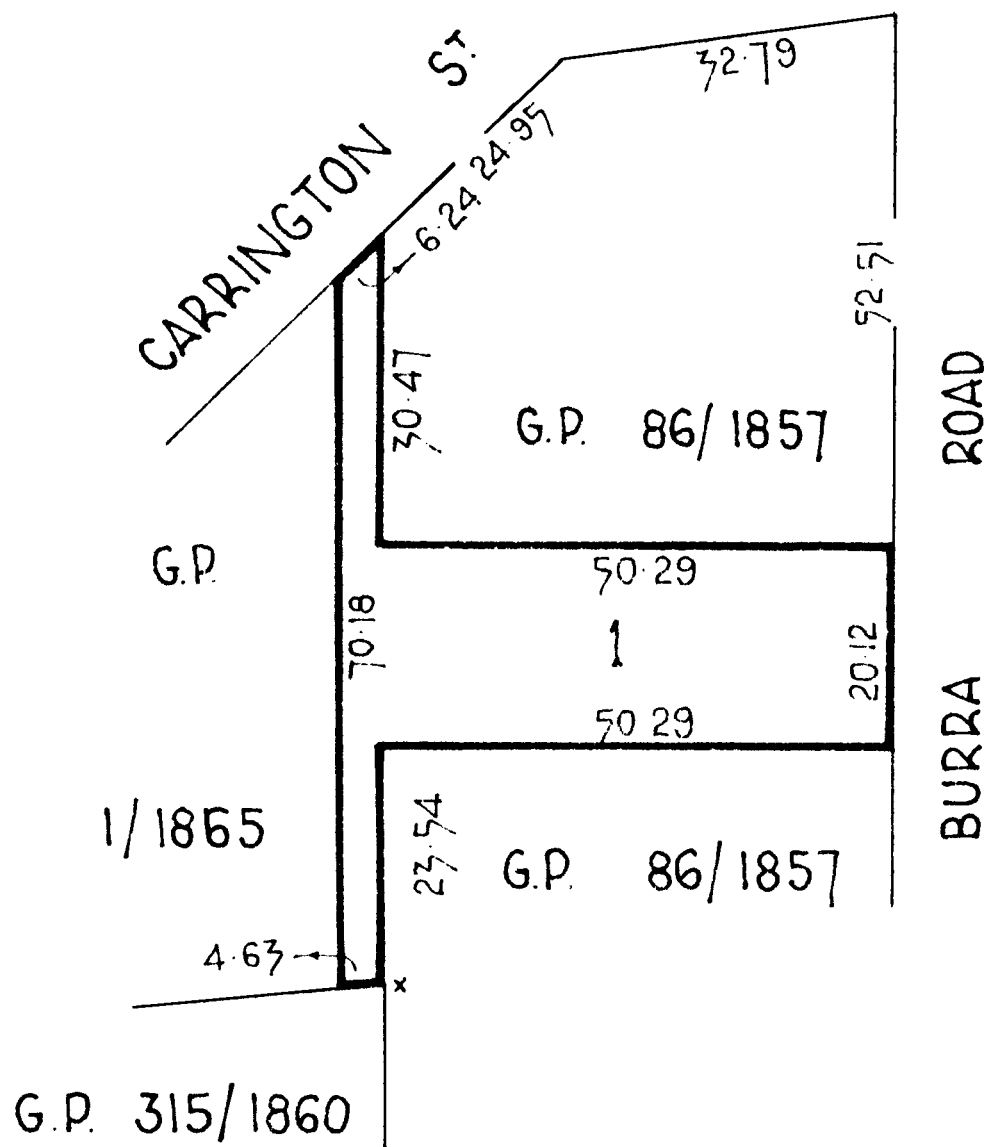
APPROVED PLAN FOR LEASE PURPOSES FX55325

END OF TEXT.

LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA

DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5439 FOLIO 722

SEARCH DATE : 26/08/2014 TIME: 09:40:39



0 10 20 30 40 Metres



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5439 FOLIO 725 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 2352/94
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : BTPL BOX NO : 000	DATE OF ISSUE : 01/08/1997
SEARCHED ON : 26/08/2014 AT : 09:40:04	EDITION : 6
CLIENT REF 12177	

REGISTERED PROPRIETOR IN FEE SIMPLE

C.R. LINDNER NOMINEES PTY. LTD. OF PO BOX 382 TANUNDA SA 5352

DESCRIPTION OF LAND

ALLOTMENT 91 FILED PLAN 206992
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

11165209 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

APPROVED PLAN FOR LEASE PURPOSES FX55325

END OF TEXT.

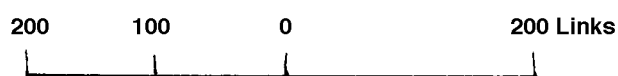
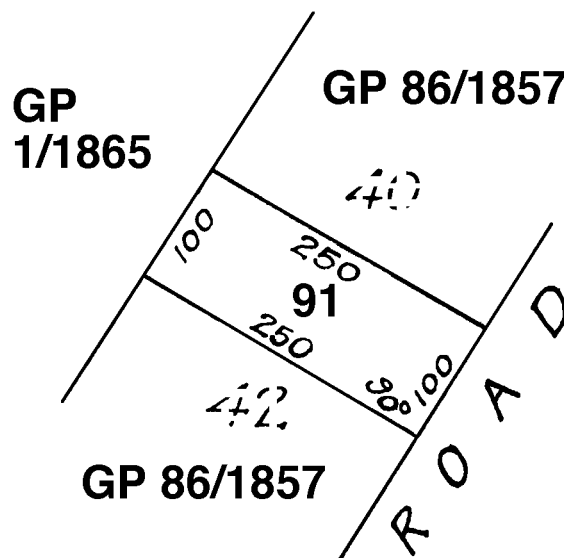
LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA

DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5439 FOLIO 725

SEARCH DATE : 26/08/2014 TIME: 09:40:04

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 2352/94

LAST PLAN REF: GP 86/1857



DISTANCES ARE IN LINKS
FOR METRIC CONVERSIONS
1 LINK = 0.201168 METRES
1 CHAIN = 100 LINKS

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5439 FOLIO 728 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 4301/826
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : BTPL BOX NO : 000	DATE OF ISSUE : 01/08/1997
SEARCHED ON : 26/08/2014 AT : 09:41:58	EDITION : 5
CLIENT REF 12177	

REGISTERED PROPRIETOR IN FEE SIMPLE

C.R. LINDNER NOMINEES PTY. LTD. OF 72 MURRAY STREET TANUNDA SA 5352

DESCRIPTION OF LAND

ALLOTMENTS 101 AND 102 FILED PLAN 206999
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

11165209 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

NIL

END OF TEXT.

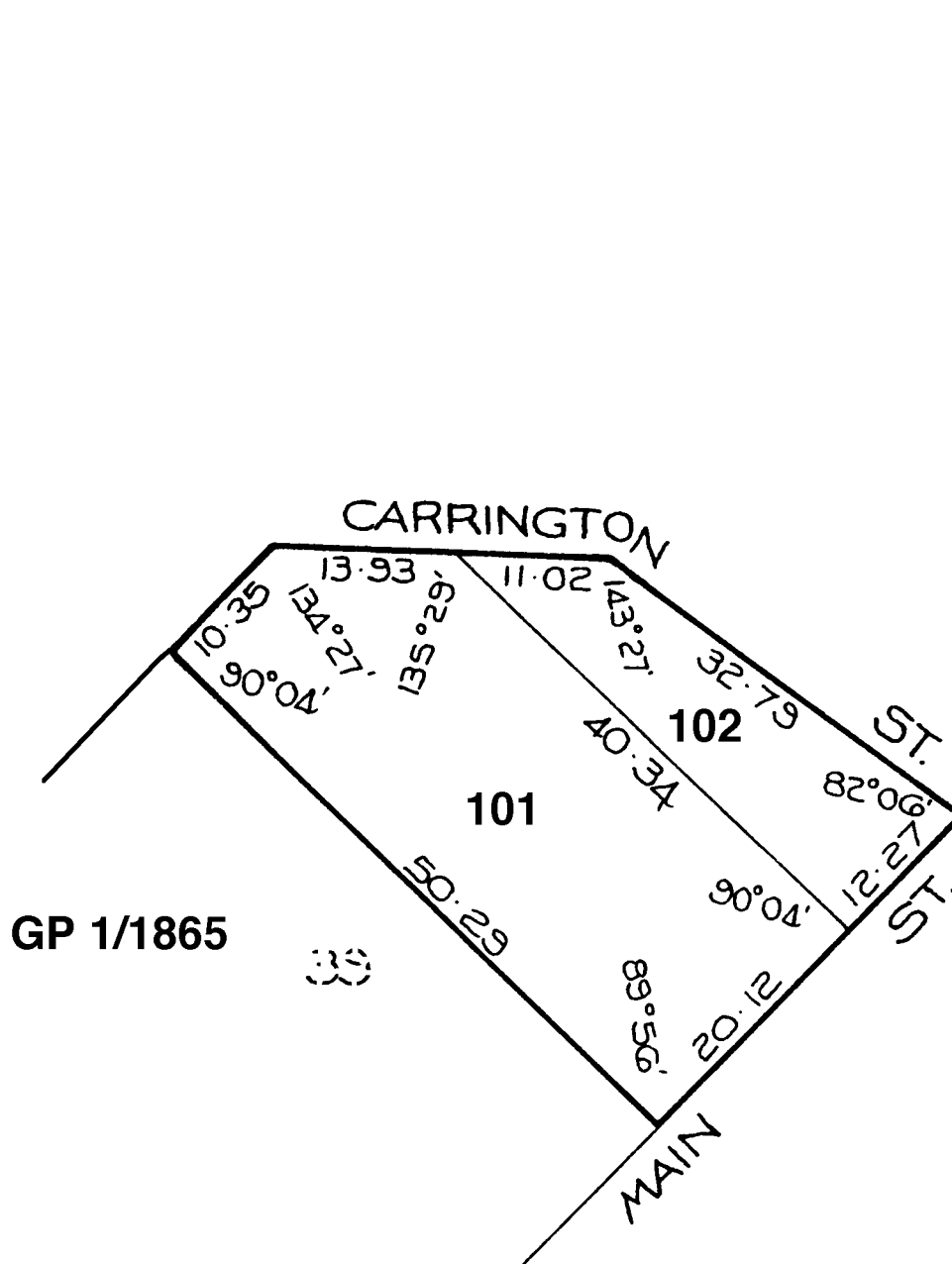
LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA

DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5439 FOLIO 728

SEARCH DATE : 26/08/2014 TIME: 09:41:58

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 4301/826

LAST PLAN REF: GP 1/1865



0 7.5 15 22.5 30 Metres

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5866 FOLIO 11 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 5475/782
REGION : EMAIL	AUTHORITY : RTU 9241756
AGENT : BTPL BOX NO : 000	DATE OF ISSUE : 05/02/2002
SEARCHED ON : 26/08/2014 AT : 09:39:22	EDITION : 5
CLIENT REF 12177	

REGISTERED PROPRIETOR IN FEE SIMPLE

C.R. LINDNER NOMINEES PTY. LTD. OF PO BOX 382 TANUNDA SA 5352

DESCRIPTION OF LAND

ALLOTMENT 301 DEPOSITED PLAN 58789
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

NIL

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

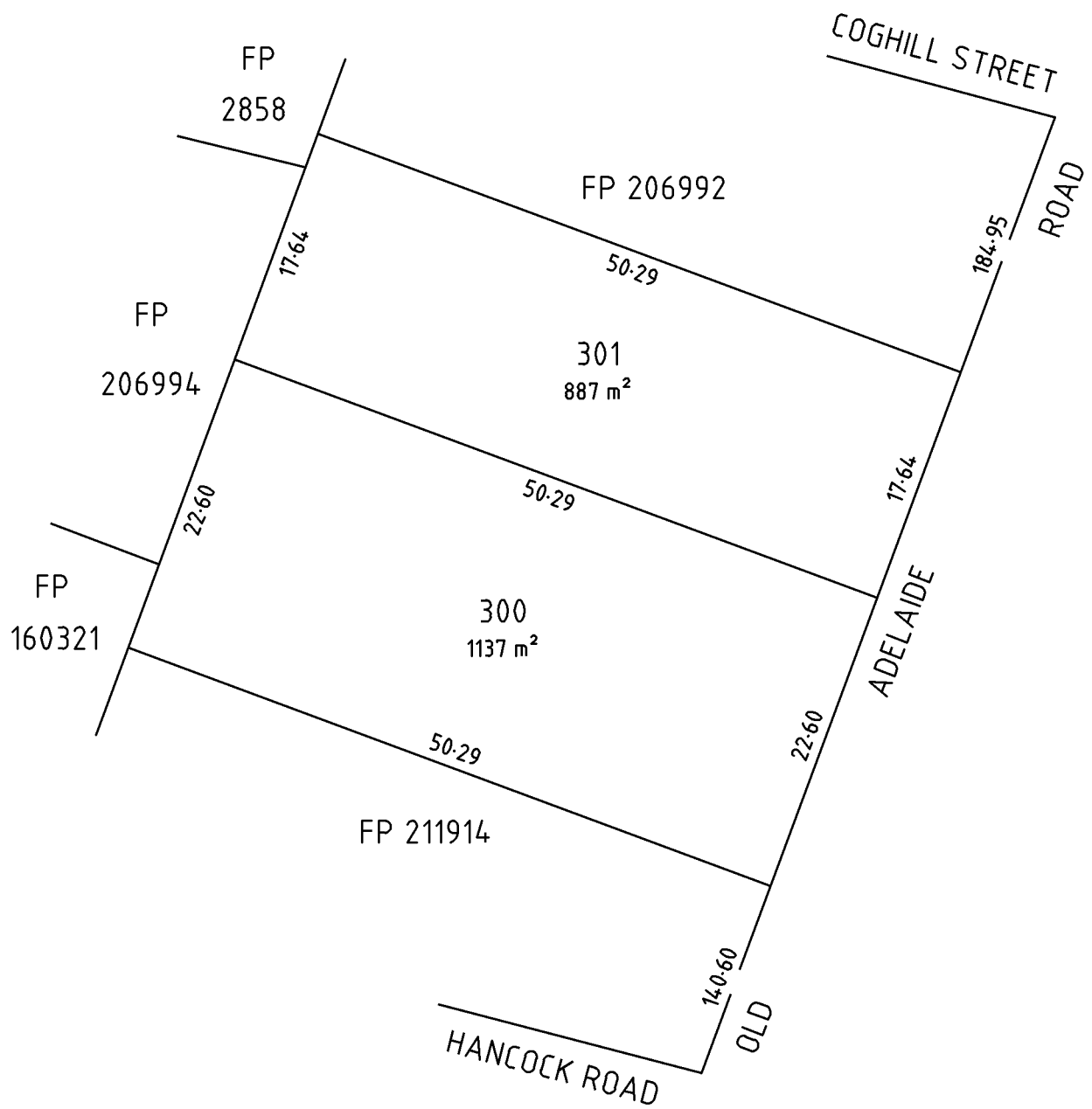
NIL

END OF TEXT.

LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA

DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5866 FOLIO 11

SEARCH DATE : 26/08/2014 TIME: 09:39:22



0 5 10 15 20 Metres



Title Register Search

LANDS TITLES OFFICE, ADELAIDE

For a Certificate of Title issued pursuant to the Real Property Act 1886

REGISTER SEARCH OF CERTIFICATE OF TITLE * VOLUME 5439 FOLIO 729 *

COST : \$26.50 (GST exempt)	PARENT TITLE : CT 3147/92
REGION : EMAIL	AUTHORITY : CONVERTED TITLE
AGENT : BTPL BOX NO : 000	DATE OF ISSUE : 01/08/1997
SEARCHED ON : 26/08/2014 AT : 09:41:22	EDITION : 5
CLIENT REF 12177	

REGISTERED PROPRIETOR IN FEE SIMPLE

C.R. LINDNER NOMINEES PTY. LTD. OF 72 MURRAY STREET TANUNDA SA 5352

DESCRIPTION OF LAND

ALLOTMENT 92 FILED PLAN 206993
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

11165209 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

NOTATIONS

DOCUMENTS AFFECTING THIS TITLE

NIL

REGISTRAR-GENERAL'S NOTES

NIL

END OF TEXT.

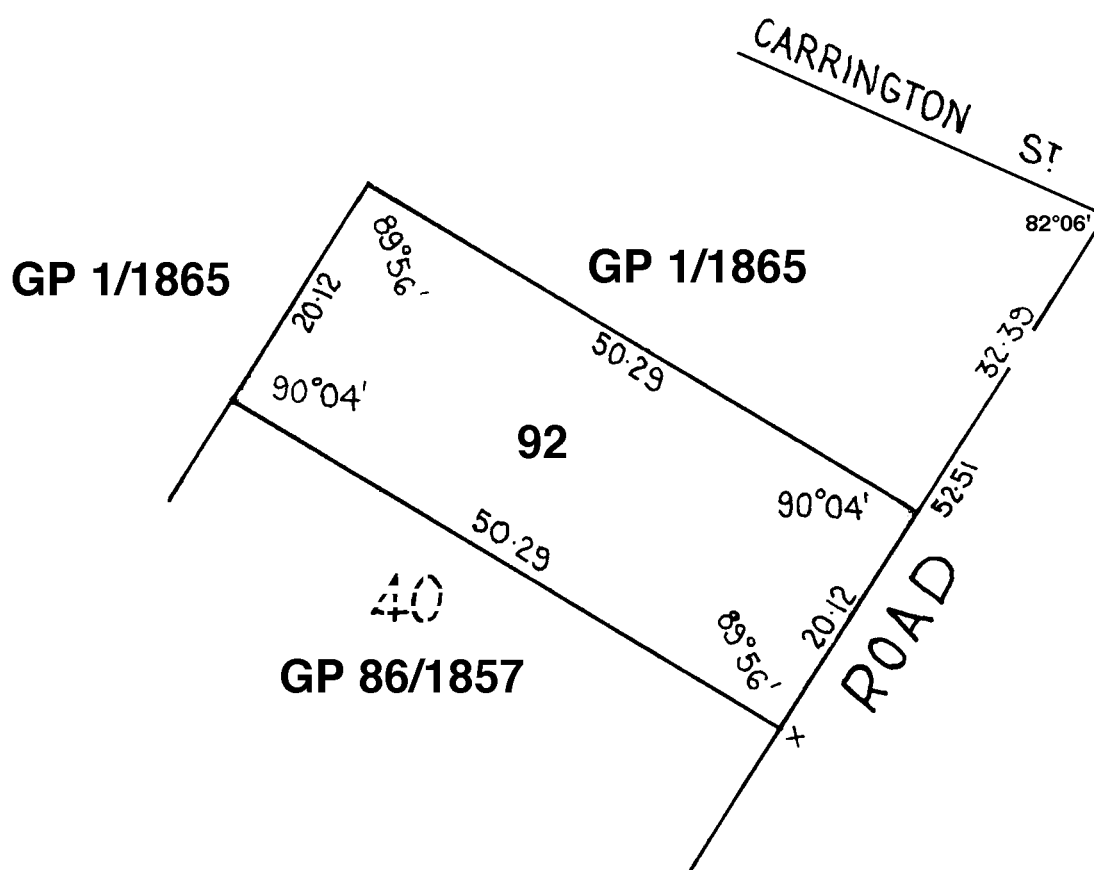
LANDS TITLES OFFICE ADELAIDE SOUTH AUSTRALIA

DIAGRAM FOR CERTIFICATE OF TITLE VOLUME 5439 FOLIO 729

SEARCH DATE : 26/08/2014 TIME: 09:41:22

THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 3147/92

LAST PLAN REF: GP 86/1857



0 5 10 20 30 Metres

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Registrar-General

Certificate of Title - Volume 5866 Folio 10

Parent Title(s) CT 5475/534, CT 5475/782

**Dealing(s)
Creating Title** RTU 9241756

Title Issued 05/02/2002

Edition 5

Edition Issued 26/10/2015

REAL PROPERTY ACT, 1886



Estate Type

FEE SIMPLE

Registered Proprietor

EFCOS PTY. LTD. (ACN: 600 387 451)
OF SE 2 26 THE PARADE WEST KENT TOWN SA 5067

Description of Land

ALLOTMENT 300 DEPOSITED PLAN 58789
IN THE AREA NAMED KAPUNDA
HUNDRED OF KAPUNDA

Easements

NIL

Schedule of Dealings

NIL

Notations

Dealings Affecting Title

NIL

Priority Notices

NIL

Notations on Plan

NIL



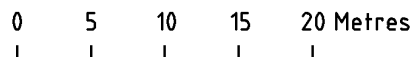
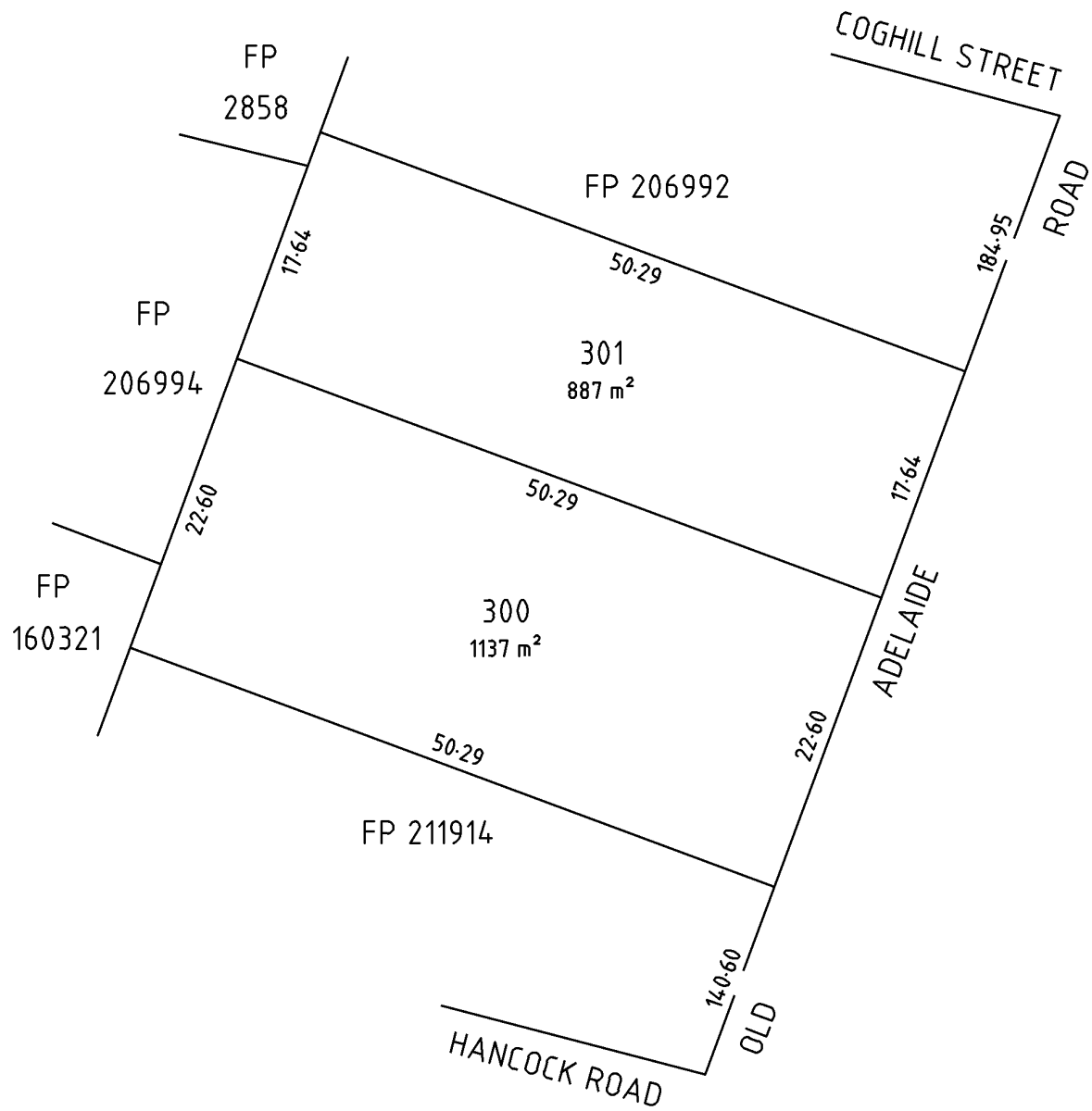
Registrar-General's Notes

NIL

Administrative Interests

NIL

* Denotes the dealing has been re-lodged.





South Australia.
(CERTIFICATE OF TITLE.)

Register Book,
Vol. 846 Folio 140

Pursuant to Memorandum of Transfer N^o 51999

William Albert Clutterbuck and Robert Thomas Burford
both of Adelaide Merchants, the proprietors of an estate in fee simple as tenants in common
subject nevertheless to such incumbrances liens and interests as are notified by memorial underwritten or endorsed hereon in
that piece of land situated in the Hundred of Kapunda County of
Eight being the Allotment 51 containing one road and section
fences or the reabouts of Section 1402 laid out with others as North Kapunda
and more particularly delineated and bounded as appears in the plan in
the margin hereof and therein colored green Together with a right of way over
allotment 29 as more particularly delineated in the said plan and
therein colored brown. Which said Allotment 51 is bounded as appears
in the plan deposited in the General Registry Office N^o 86 of 1854. Which
said Allotment 29 is bounded as appears in the plan deposited in
the General Registry Office N^o 63 of 1861

which said Section 25 delineated in the public map of the said Hundred deposited in the office of the Surveyor-General.

In witness whereof I have hereunto signed my name and affixed my seal this twentysecond day of October 1906

Signed the 22nd day of October
1906, in the presence of F. J. Bony

Transfer N^o 1184026 from
William Albert Clutterbuck and Robert Thomas Burford
to Clutterbuck Bros
(Adelaide) Limited having
its registered office at North
Street Adelaide of an estate in fee
simple in the within land. Received
for registration the 18 day of April
1925 at 11:20am
Halornish Dep. Reg. Genl.
T187121

Registrar-General.

TRANSFER No. 1184121 FROM
Clutterbuck Bros (Adelaide) Limited to in
liquidation The Corporation of the Town of
Kapunda
OF AN ESTATE IN FEE SIMPLE IN THE WITHIN LAND.
PRODUCED FOR REGISTRATION THE 12 DAY OF
April 1935 AT 3pm
SS DEP. REG. GENL.

Hancock Rd. vide Dkt. 3669/1978



Register Search
09/10/2015 11:37AM
12177
20151009004513
\$27.25

[illegible]



Notations

Dealings Affecting Title

NIL

Priority Notices

NIL

Notations on Plan

NIL

Registrar-General's Notes

NEW TITLE TO ISSUE (REDESIGNATION) VIDE FILED PLAN F210113

Administrative Interests

NIL

14 July 2014

Team Leader – Planning Services
Development Assessment Commission
Level 5, 50 Flinders Street
ADELAIDE SA 5000

Dear Sir

**Re: DA 313/L006/16 – Proposed Supermarket at
113 Main Street Kapunda.**

We act for CR Lindner Nominees Pty Ltd.

On 25 August 2016, the Development Assessment Commission granted Development Plan Consent to our client's development application to:

"... demolish a contributory item (dwelling) and construct a single storey supermarket with associated signage, retaining walls, fencing, landscaping, car parking, new site access points, earthworks and the use of a public road for business purposes".

The approval was granted subject to 18 conditions.

On 16 February 2017, Light Regional Council granted Stage 1 Development Approval to demolish the contributory item. The contributory item has now been demolished.

Through the project documentation and costing phase it has become apparent that significant costs will be incurred in excavating the site to achieve the approved finished floor level for the supermarket (243.25 metres AHD). To achieve a better cut and fill balance, and taking into account the need to minimise retaining wall heights, it is proposed to raise the supermarket's finished floor level by 1.25 metres to 244.5 metres AHD. This will have the additional benefit of improving the building's visibility when viewed from the Carrington Street/Main Street corner.

Retaining wall heights will be minimised by creating a slight fall across the end car park combined with the use of retaining wall 'terraces'. This method will result in the highest retaining wall (between 2.8 metres and 3.66 metres) being located well inside the boundaries of the site, with parallel and low retaining walls alongside the site's north-western boundary. The parallel walls will be from 300 millimetres to 560 millimetres in height.



The supermarket operator has also reviewed the supermarket to optimise the store layout. This results in a floor area reduction of 521 square metres. The new layout will therefore now have a total floor area of 2,059 square metres, consisting of:

- the supermarket of 1,400 square metres;
- back-of-house deli/fruit and veg/meat storage of 256 square metres;
- separate storage areas at opposite ends of the supermarket of 288 square metres;
- dairy cool room and freezer store of 75 square metres; and
- amenities of 40 square metres.

The following table summarises the differences between what was approved and is now proposed:

KAPUNDA SUPERMARKET – COMPARISON TABLE

Development Component	Approved	Proposed	Notes
Off Street Parking	91	85	Reduced by 6 spaces
Supermarket FFL	243.25m AHD	244.5m AHD	Raised by 1.25 metres
Supermarket Total Floor Area	2,580 square metres	2,059 metres square	Reduced by 521 square metres
Maximum Building Height (top of main gable)	8.79 metres	8.50 metres	Reduced by 290 millimetres
Site Access Points	Main Street (2) + Carrington Street (1)	Main Street (2) + Carrington Street (1)	No change
Hours of Operation	7.00 am – 8.00 pm Monday to Sunday	7.00 am – 8.00 pm Monday to Sunday	No change
Deliveries and Waste Collection	7.00 am – 10.00 pm Monday to Friday 7.00 am – 5.00 pm Saturday and Sunday	7.00 am – 10.00 pm Monday to Friday 7.00 am – 5.00 pm Saturday and Sunday	No change
Service and Customer Vehicle Access number and location	Old Adelaide Road, Thiele Highway and Carrington Street	Old Adelaide Road, Thiele Highway and Carrington Street	No change



The building's design and siting, and the access, loading and parking arrangements, will be the same as the approved development, namely:

- a dedicated service vehicle driveway into the site from Old Adelaide Road, and exiting the site onto Carrington Street;
- the main a customer entry/exit onto Thiele Highway; and
- loading and unloading from a roller door loading bay at the rear of the building.

While there will be six fewer off street parking spaces, the associated reduction in supermarket floor area will more than compensate for this reduction. For comparison purposes, the approved development was provided with off street parking at a rate of 3.53 spaces per 100 square metres of total floor area, whereas the variation application will be provided with off street parking at a rate of 4.13 spaces/100 square metres.

Stormwater will continue to be managed and discharged from the site in the same way as previously approved, namely to Harriet Street and Carrington Street.

As before, the development site includes surplus road reserve adjacent to Thiele Highway. The road reserve is being closed by Light Regional Council under the *Roads (Opening and Closing) Act*. As part of this process, a small section of the site adjacent to Carrington Street will be vested in Council as road reserve at the same time as the road reserve adjacent to Thiele Highway is closed. This detail is shown on Demolition Drawing A051 prepared by JBG Architects. Council advises that the road opening and closing processes should be finalised before the end of the year.

In our opinion the amendments are minor. Moreover, they do not alter the nature of the approved development. As the consent is still valid, we request that the amendment be treated as a variation pursuant to section 39(6) of the Development Act which states:

Subject to this subsection, a person may seek the variation of a development authorisation previously given under this Act (including by seeking the variation of a condition imposed with respect to the development authorisation).

In applying under this subsection, it will be noted that the relevant authorisation is still operative.



In relation to public notification (to which subsection 39 (7)(a) of the Act refers), the previously approved application underwent Category 2 Notification and three valid representatives were received. Two of those representations either supported or did not oppose the development, leaving just one valid representation. This came from the owners/occupiers of 5 Carrington Street Kapunda. As stated in our response to that representation¹:

"... this allotment is occupied by a commercial development trading as 'CL Services Mechanical Repairs' and 'Street and Off Road Custom'. This is plainly evident from the signs affixed to the front of the property, and the appearance of the front yard and sheds. Moreover, we note that the mechanical repairs sign prominently states that the business operates 7 days".

We note that the persons making this representation chose not to appear before the Development Assessment Commission in support of their representation.

Our client's amended proposal will be smaller in scale than the development approved in 2016. It will also have the same egress arrangements onto Carrington Street as the approved development, and will operate at the same times as the approved development.

Under these circumstances, we say that the amended proposal should not be renotified as a Category 2 Development.

Support for not re-notifying the variation application can be inferred from subsection 39(7)(c) of the Act, which advises that Category 3 notification is not required for a variation application in circumstances where:

"...no such [Category 3] representation related to any aspect of the development that is now under consideration on account of the application for variation and that, in the circumstances of the case, it is unnecessary to deal with the matter as a Category 3 development....".

The circumstances prescribed in subsection 39(7)(c) of the Act equally apply to the variation application.

It follows that the variation application should not be renotified as a Category 2 Development.

¹ Our letter to the DAC dated 20 July 2016.



It is also unnecessary in our opinion for the application to be referred to the Commissioner of Highways pursuant to Item 3 of Schedule 8 of the *Development Regulations 2008*, because the application will not alter the approved access point onto Thiele Highway, nor will it alter the nature of movement through an approved access or create any additional new access² points.

We conclude that the variation application as described in this letter and shown on the accompanying set of drawings prepared by JBG Architects and FMG Engineers is deserving of Development Plan Consent.

We enclose a Development Application Form, an Electricity Declaration Form, the relevant Certificates of Title and three sets of drawings of the proposed development (one set at full scale and two sets at A3 scale).

We enclose our cheque with the sum of \$62.50. Please issue a Tax Invoice for the balance of the fees owing and we will arrange for immediate payment to be made.

Yours faithfully

Graham Burns
MasterPlan SA Pty Ltd

enc: Development Application Form.
 Electricity Declaration Form.
 Certificates of Title.
 Drawings – JBG Architects and FMG Engineers.
 Cheque.

cc: CR Lindner Nominees Pty Ltd.

² It is appropriate to treat the approved access points as if they are an 'existing access' and 'new access' under Schedule 8.

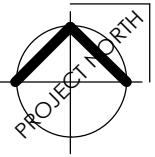
KAPUNDA SUPERMARKET
RETAIL DEVELOPMENT

ARCHITECTURAL DRAWING LIST

DWG No.	DWG CONTENT	ISSUE	DATE	ISSUED FOR
A000	COVERSHEET	Q	03.07.17	REVISED PLANNING
A001	LANDSCAPE PLAN	G	03.07.17	REVISED PLANNING
A002	CARPARK SETOUT DRAWING	I	03.07.17	REVISED PLANNING
A011	SITE FLOOR PLAN	W	03.07.17	REVISED PLANNING
A012	SITE FLOOR PLAN (WITH EXISTING SURVEY)	C	03.07.17	REVISED PLANNING
A051	DEMOLITION PLAN	E	03.07.17	REVISED PLANNING
A101	FLOOR PLAN	B	03.07.17	REVISED PLANNING
A102	FLOOR PLAN (WITH SUPERMARKET LAYOUT)	K	03.07.17	REVISED PLANNING
A201	SITE ELEVATIONS	Z	03.07.17	REVISED PLANNING
A211	CROSS SECTIONS	R	03.07.17	REVISED PLANNING
A901	PERSPECTIVES	X	03.07.17	REVISED PLANNING



1 SITEPLAN
A202 1 : 250
0 2.50m 5.00m 7.50m 10.0m 12.5m
1:250 @ A1, 1:500 @ A3



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F	BUILDING CERTIFICATION	WS	WS	14.12.15
G	BUILDING CERTIFICATION	WS	WS	15.12.15
H	REVISED PLANNING	WS	WS	22.04.16
I	REVISED PLANNING	WS	WS	26.04.16
J	FOR COORDINATION	WS	WS	08.06.16
K	REVISED PLANNING	WS	WS	17.06.17
L	REVISED PLANNING	WS	WS	21.07.18
M	REVISED PLANNING	WS	WS	18.08.16
N	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
O	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
P	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
Q	REVISED PLANNING	WS	WS	03.07.17
Issue	Issued For	By	Chkd	Date

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Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
COVERSHEET

NOT FOR CONSTRUCTION

Project Number
1321
Drawing Number
A000
Issue
Q



SITE NOTES

SITE SETOUT + BOUNDARY IDENTIFICATION:
SET-OFF DIMENSIONS SHALL BE FROM THE ALLOTMENT BOUNDARIES AND NOT NECESSARILY THE FENCE LINES. BOUNDARY + EASEMENT LINES ARE TO BE IDENTIFIED BY THE BUILDER ON-SITE PRIOR TO CONSTRUCTION.

SITE WORKS NOTES:
THERE ARE NO SIGNIFICANT TREES, SHRUBS OR EXISTING STRUCTURES (OTHER THAN THOSE INDICATED) ON THIS OR ADJOINING SITES OR PUBLIC PLACES THAT WILL AFFECT OR BE AFFECTED BY THE PROPOSED BUILDING WORKS.

THERE ARE NO BRUSH FENCES WITHIN 3M OF THE NEW BUILDING WORKS.

STORMWATER MANAGEMENT:
TO BE DIRECTED AWAY FROM BUILDING BY FALLS IN PAVING AND SURROUNDING GARDEN LEVELS.

THE METHOD OF STORMWATER DISPOSAL MUST NOT RESULT IN THE ENTRY OF WATER INTO ANY BUILDING OR ON TO THE LAND OF ANY ADJOINING OWNER.

EXTERNAL LIGHTS:
EXTERNAL LIGHTING IS TO BE ORIENTATED IN A DOWNWARDS DIRECTION TO MINIMIZE LIGHT SPILL ON TO NEIGHBOURING SITES

TERMITE TREATMENT:
PROVIDE STAINLESS STEEL TERMITE-MESH BARRIER TO PERIMETER OF NEW BUILDING SLABS/STRIP FOOTINGS, UNDER TIMBER FRAMED ELEMENTS, BRICK PIERS + TO ALL SLAB PENETRATIONS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND AS3660.1. SLAB TO ACT AS PHYSICAL BARRIER TO REMAINDER OF BUILDING.

PROVIDE CHEMICAL SOIL BARRIER BY 'BIFENTHRIN' INSECTICIDE SPRAY TO PERIMETER OF FOOTING, OR 'TERMICURE' SPRAY + SLAB INSPECTION REPORT, IN ACCORDANCE WITH AS3660.1.

BUILDER + OWNER ARE TO ENSURE A PERIODIC VISUAL INSPECTION FOR TERMITES BY MAINTAINING A MINIMUM 75MM FOOTING EDGE EXPOSURE + 25MM CLEARANCE TO ALL OBJECTS ADJACENT SLAB EDGE (UNLESS OTHERWISE SPECIFIED BY LEVELS). TERMITE SYSTEMS TO BE INSTALLED BY ACCREDITED CONTRACTOR.

GENERAL NOTE:
THIS PLAN MAY HAVE BEEN PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF SHOWING EXISTING SITE CONDITIONS AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

DRAWINGS SHOULD BE READ IN CONJUNCTION WITH LATEST COPIES OF THE 'CERTIFICATES OF TITLE' FOR ANY ADDITIONAL ENCUMBRANCES OR EASEMENTS LOCATED ON THE PROPERTY.

GENERAL EXTERNAL LIGHTING

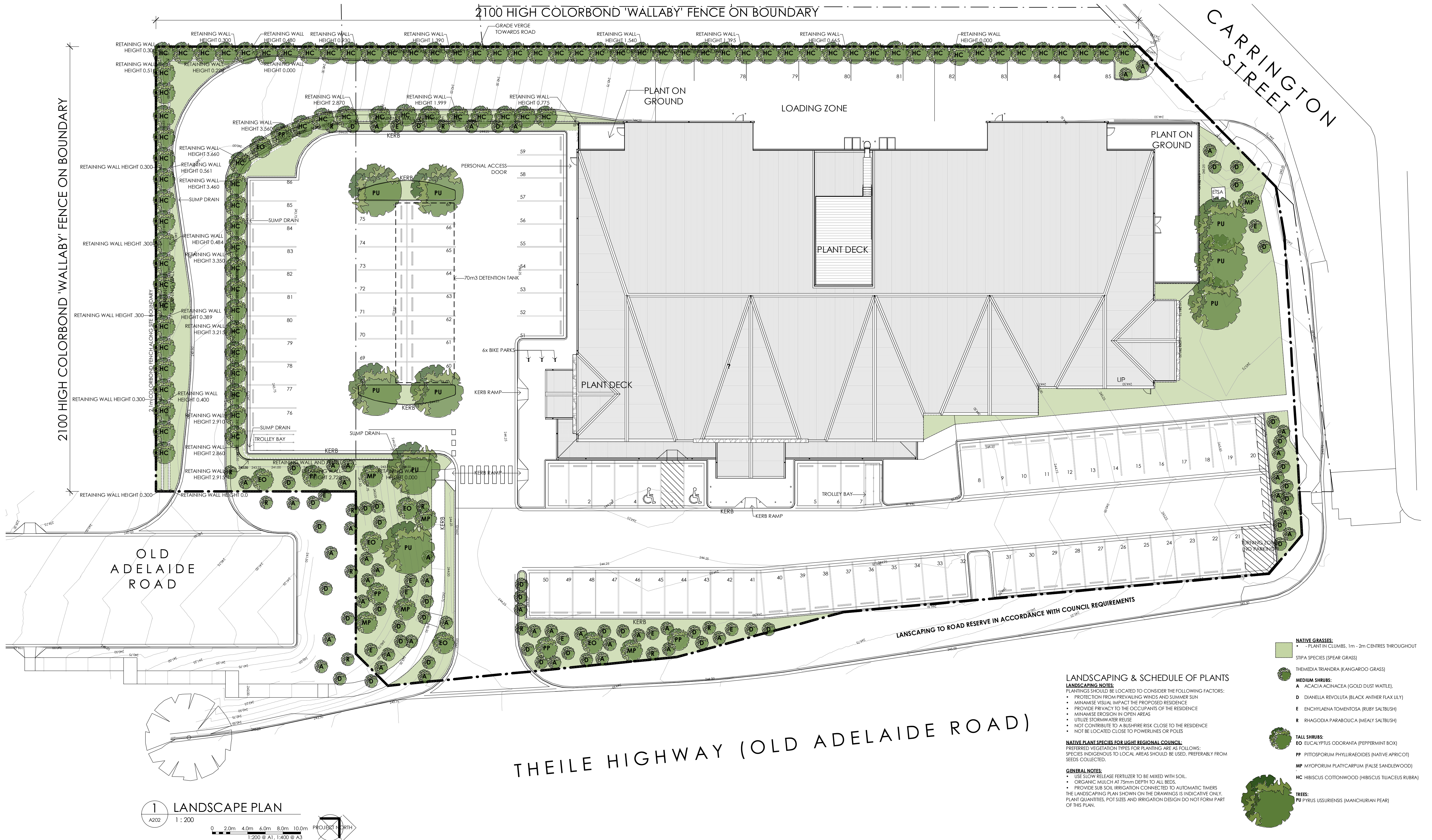
OUTDOOR LIGHTING SHOULD NOT RESULT IN LIGHT SPILLAGE ON ADJACENT LAND.

DEVELOPMENT, INCLUDING CAR PARK FACILITIES SHOULD INCORPORATE SIGNAGE AND LIGHTING THAT INDICATE THE ENTRANCES AND PATHWAYS TO, FROM AND WITHIN SITES.

PARKING AREAS THAT ARE LIKELY TO BE USED DURING NON DAYLIGHT HOURS SHOULD PROVIDE FLOODLIGHT ENTRANCE AND EXIT POINTS AND SITE LIGHTING DIRECTED AND SHADED IN A MANNER THAT WILL NOT CAUSE NUISANCE TO ADJACENT PROPERTIES OR USERS OF THE CAR PARK.

DEVELOPMENT SHOULD PROVIDE LIGHTING IN FREQUENTLY USED PUBLIC SPACES INCLUDING THOSE:

1. ALONG DEDICATED CYCLIST AND PEDESTRIAN PATHWAYS, LANEWAYS AND ACCESS ROUTES
2. AROUND PUBLIC FACILITIES SUCH AS TOILETS, TELEPHONES, BUS STOPS, SEATING, LITTER BINS, AUTOMATIC TELLER MACHINES, TAXI RANKS AND CAR PARKS.



LANDSCAPING & SCHEDULE OF PLANTS

LANDSCAPING NOTES:

- PLANTINGS SHOULD BE LOCATED TO CONSIDER THE FOLLOWING FACTORS:
- PROTECTION FROM PREVAILING WINDS AND SUMMER SUN
- MINIMISE VISUAL IMPACT THE PROPOSED RESIDENCE
- PROVIDE PRIVACY TO THE OCCUPANTS OF THE RESIDENCE
- MINIMISE EROSION IN OPEN AREAS
- UTILISE STORMWATER REUSE
- NOT CONTRIBUTE TO A BUSHFIRE RISK CLOSE TO THE RESIDENCE
- NOT BE LOCATED CLOSE TO POWERLINES OR POLES

NATIVE PLANT SPECIES FOR LIGHT REGIONAL COUNCIL:

PREFERRED VEGETATION TYPES FOR PLANTING ARE AS FOLLOWS:
SPECIES INDIGENOUS TO LOCAL AREAS SHOULD BE USED, PREFERABLY FROM SEEDS COLLECTED.

GENERAL NOTES:

- USE SLOW RELEASE FERTILIZER TO BE MIXED WITH SOIL.
- ORGANIC MULCH AT 75mm DEPTH TO ALL BEDS.
- PROVIDE SUB SOIL IRRIGATION CONNECTED TO AUTOMATIC TIMERS
- THE LANDSCAPING PLAN SHOWN ON THE DRAWINGS IS INDICATIVE ONLY.
- PLANT QUANTITIES, POT SIZES AND IRRIGATION DESIGN DO NOT FORM PART OF THIS PLAN.

- NATIVE GRASSES:**
- PLANT IN CLUMBS, 1m - 2m CENTRES THROUGHOUT
 - STIPA SPECIES (SPEAR GRASS)
 - THEMEDIA TRIANDRA (KANGAROO GRASS)
- MEDIUM SHRUBS:**
- ACACIA ACINACEA (GOLD DUST WATTLE)
 - DIANELLA REVOLUTA (BLACK ANTHUR FLAX LILY)
 - ENCHYLAENA TOMENTOSA (RUBY SALT BUSH)
 - RHAGODIA PARABOLICA (MEALY SALT BUSH)
- TALL SHRUBS:**
- EUCALYPTUS ODORATA (PEPPERMINT BOX)
 - PITIOSPORUM PHYLLIRAEOLIDES (NATIVE APRICOT)
 - MYOPORUM PLATYCARPUM (FALSE SANDLEWOOD)
 - HIBISCUS COTTONWOOD (HIBISCUS THIAUCUS RUBRA)
- TREES:**
- PIRUS USSURIENSIS (MANCHURIAN PEAR)

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A	REVISED PLANNING	WS	WS	17.06.17
B	REVISED PLANNING	WS	WS	21.07.18
C	REVISED PLANNING	WS	WS	18.08.16
D	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
E	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
F	PKE REVISED PLANNING REVIEW	WS	WS	20.06.17
G	REVISED PLANNING	WS	WS	03.07.17

Issue Issued For By Chkd Date



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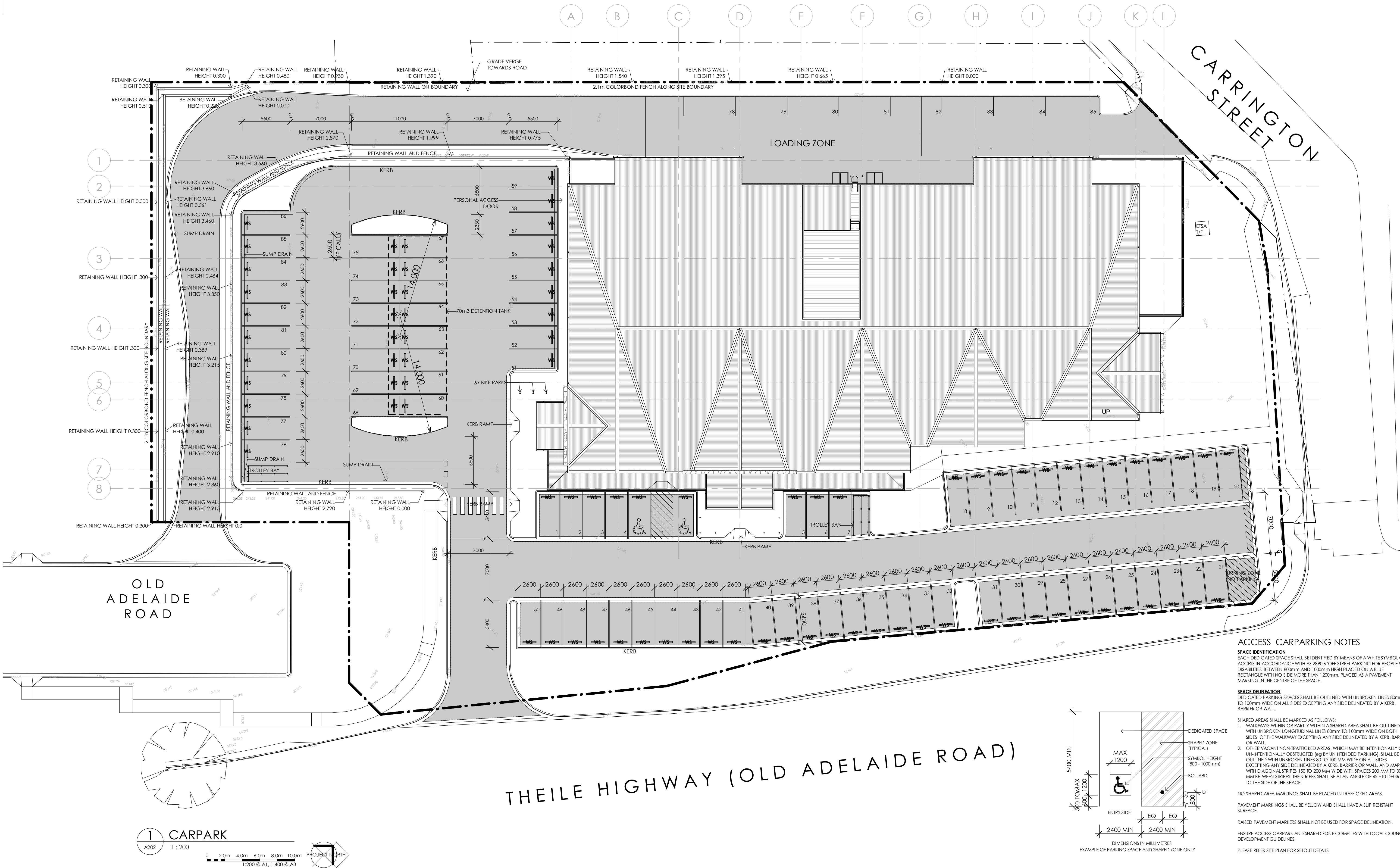
Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
LANDSCAPE PLAN

NOT FOR CONSTRUCTION

Project Number
1321
Drawing Number
A001
Issue
G





ACCESS CARPARKING NOTES

SPACE IDENTIFICATION
EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 2890.6 OFF STREET PARKING FOR PEOPLE WITH DISABILITIES BETWEEN 800mm AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm. PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE.

SPACE DELINEATION
DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80mm TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

SHARED AREAS SHALL BE MARKED AS FOLLOWS:
1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE OUTLINED WITH UNBROKEN LONGITUDINAL LINES 80mm TO 100mm WIDE ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.
2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UN-INTENTIONALLY OBSTRUCTED (eg BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200 MM WIDE WITH SPACES 200 MM TO 300 MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ±10 DEGREES TO THE SIDE OF THE SPACE.

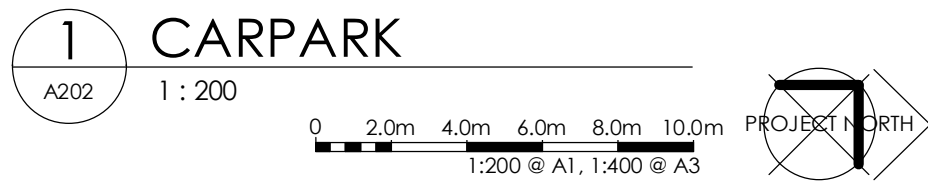
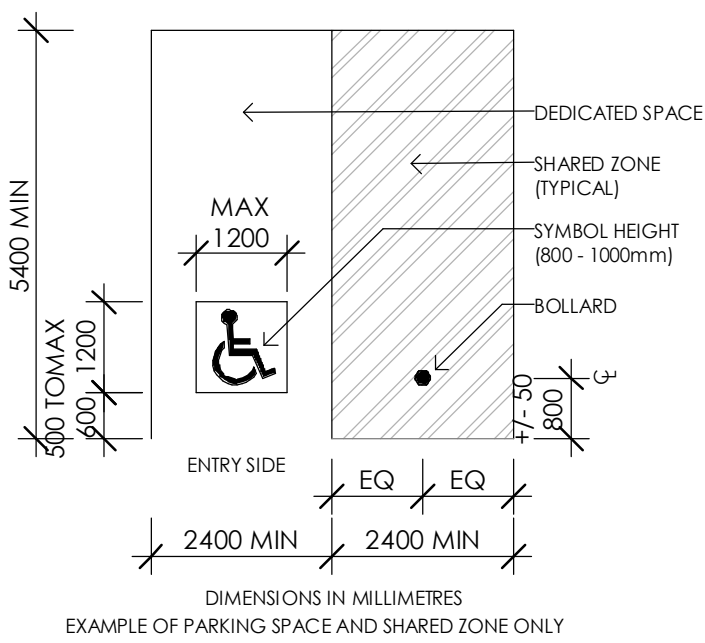
NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.

PAVEMENT MARKINGS SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE.

RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

ENSURE ACCESS CARPARK AND SHARED ZONE COMPLIES WITH LOCAL COUNCIL DEVELOPMENT GUIDELINES.

PLEASE REFER SITE PLAN FOR SETOUT DETAILS



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A	REVISED PLANNING	WS	WS	26.04.16
B	FOR COORDINATION	WS	WS	08.06.16
C	REVISED PLANNING	WS	WS	17.06.17
D	REVISED PLANNING	WS	WS	21.07.18
E	REVISED PLANNING	WS	WS	18.08.16
F	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
G	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
H	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
I	REVISED PLANNING	WS	WS	03.07.17

Issue	Issued For	By	Chkd	Date
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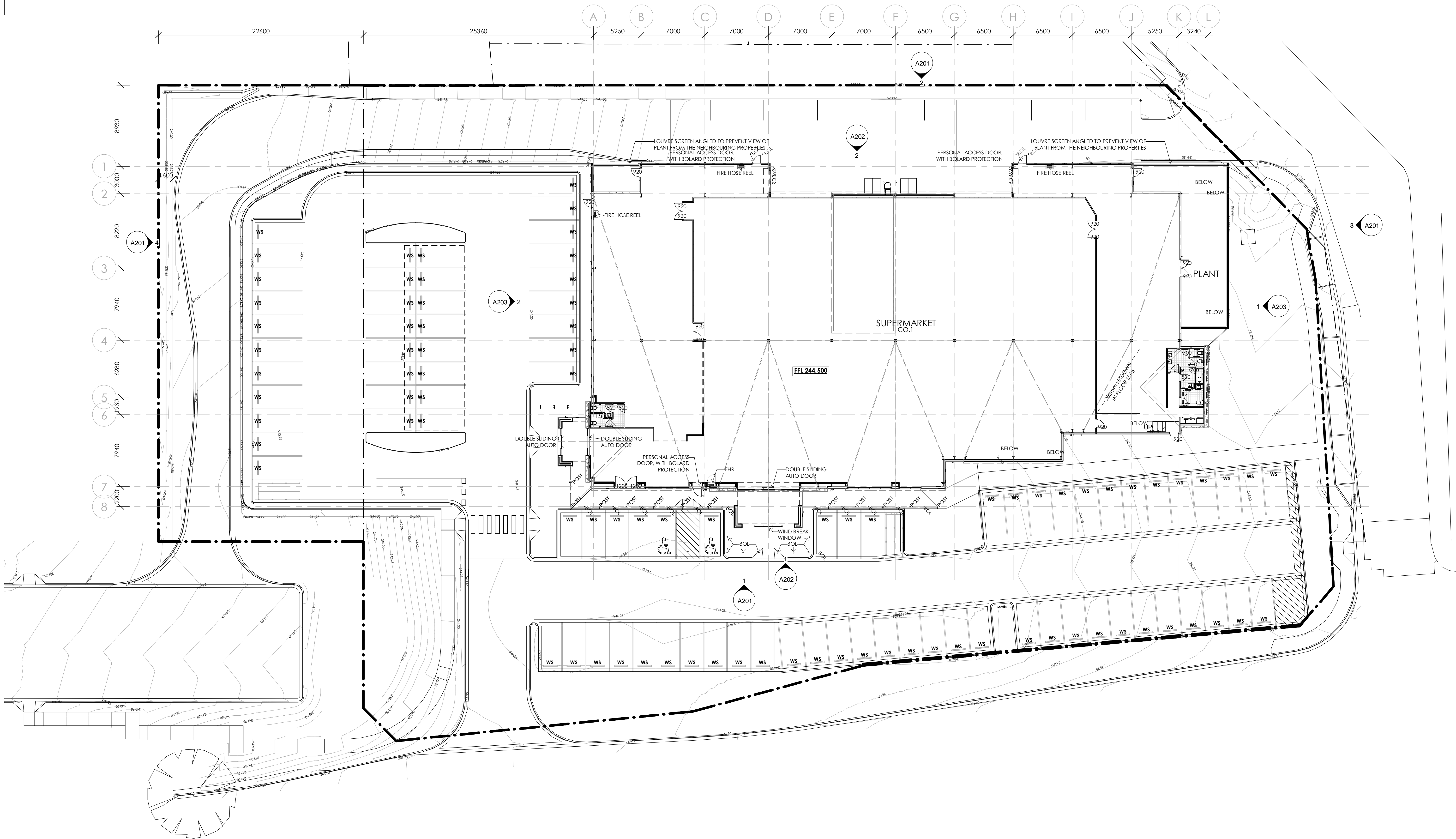
Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
CARPARK SETOUT DRAWING

NOT FOR CONSTRUCTION

Project Number
1321
Drawing Number
A002
Issue
1





1 SITE FLOOR PLAN
A202 1 : 200
0 2.0m 4.0m 6.0m 8.0m 10.0m
1:200 @ A1, 1:400 @ A3
PROJECT NORTH

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L	REVISED PLANNING	WS	WS	26.04.16
M	FOR COORDINATION	WS	WS	08.06.16
N	REVISED PLANNING	WS	WS	17.06.17
O	REVISED PLANNING	WS	WS	18.08.16
P	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
Q	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
R	COST SAVINGS CLIENT REVIEW	WS	WS	13.02.17
S	COST SAVINGS CLIENT REVIEW	WS	WS	23.02.17
T	COST SAVINGS CLIENT REVIEW	WS	WS	24.02.17
U	COST SAVINGS CLIENT REVIEW	WS	WS	09.03.17
V	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
W	REVISED PLANNING	WS	WS	03.07.17
Issue	Issued For	By	Chkd	Date

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Client
LINDNER GROUP

Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET

Drawing Title
SITE FLOOR PLAN

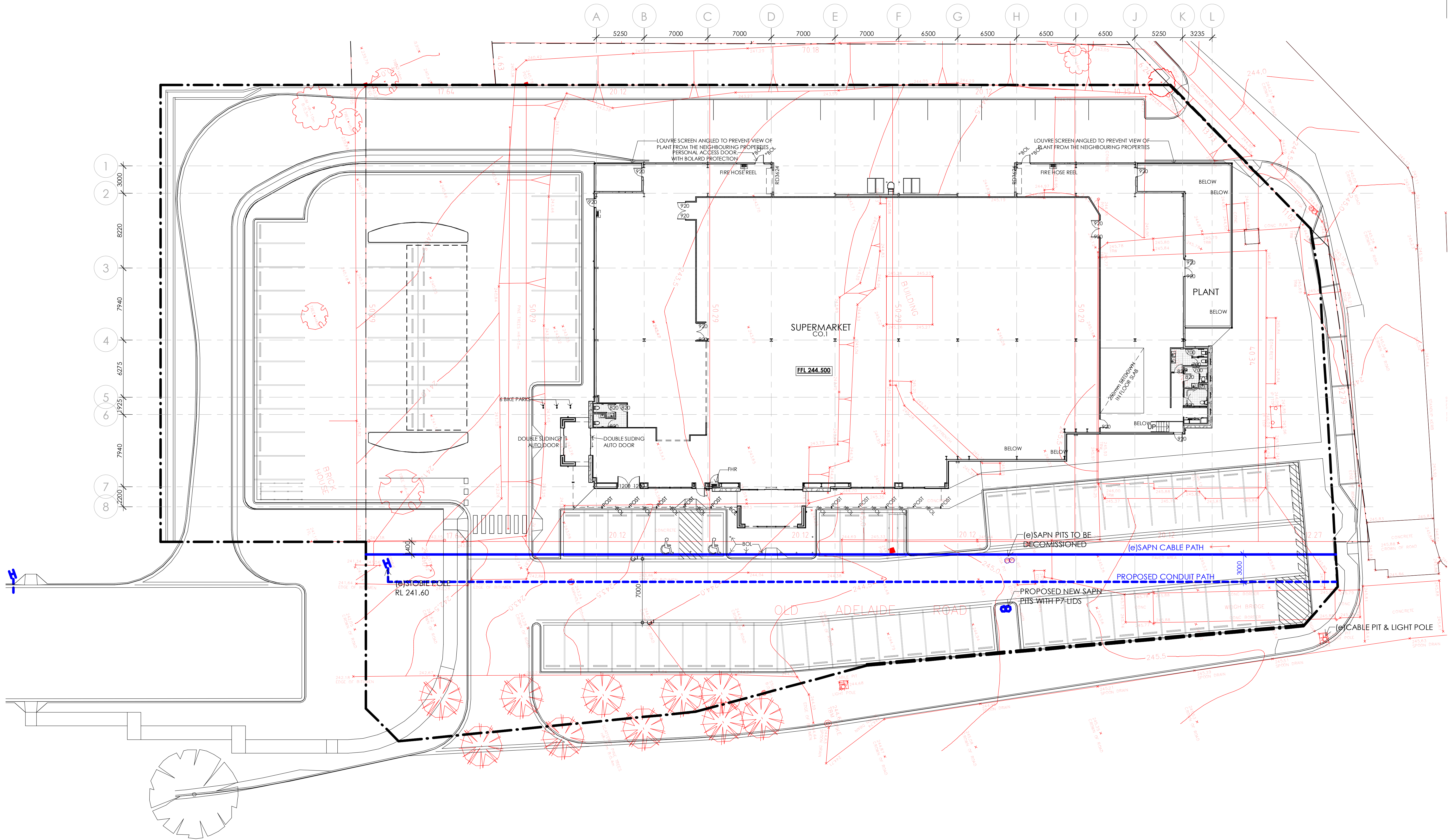
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Project Number
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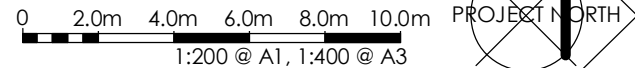
Drawing Number
A011

Issue
W





1 SITE FLOOR PLAN WITH EXISTING SURVEY
A202 1 : 200



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A	COST SAVINGS CLIENT REVIEW	WS	WS	09.03.17
B	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
C	REVISED PLANNING	WS	WS	03.07.17

Issue Issued For By Chkd Date

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Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
SITE FLOOR PLAN (WITH EXISTING SURVEY)

NOT FOR CONSTRUCTION

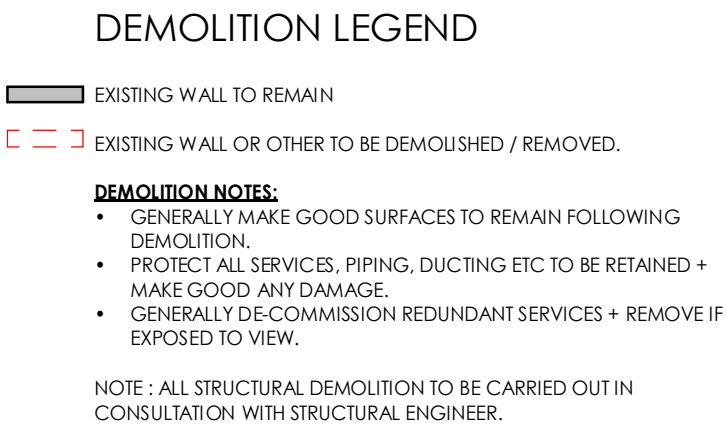
Project Number
1321

Drawing Number
A012

Issue
C

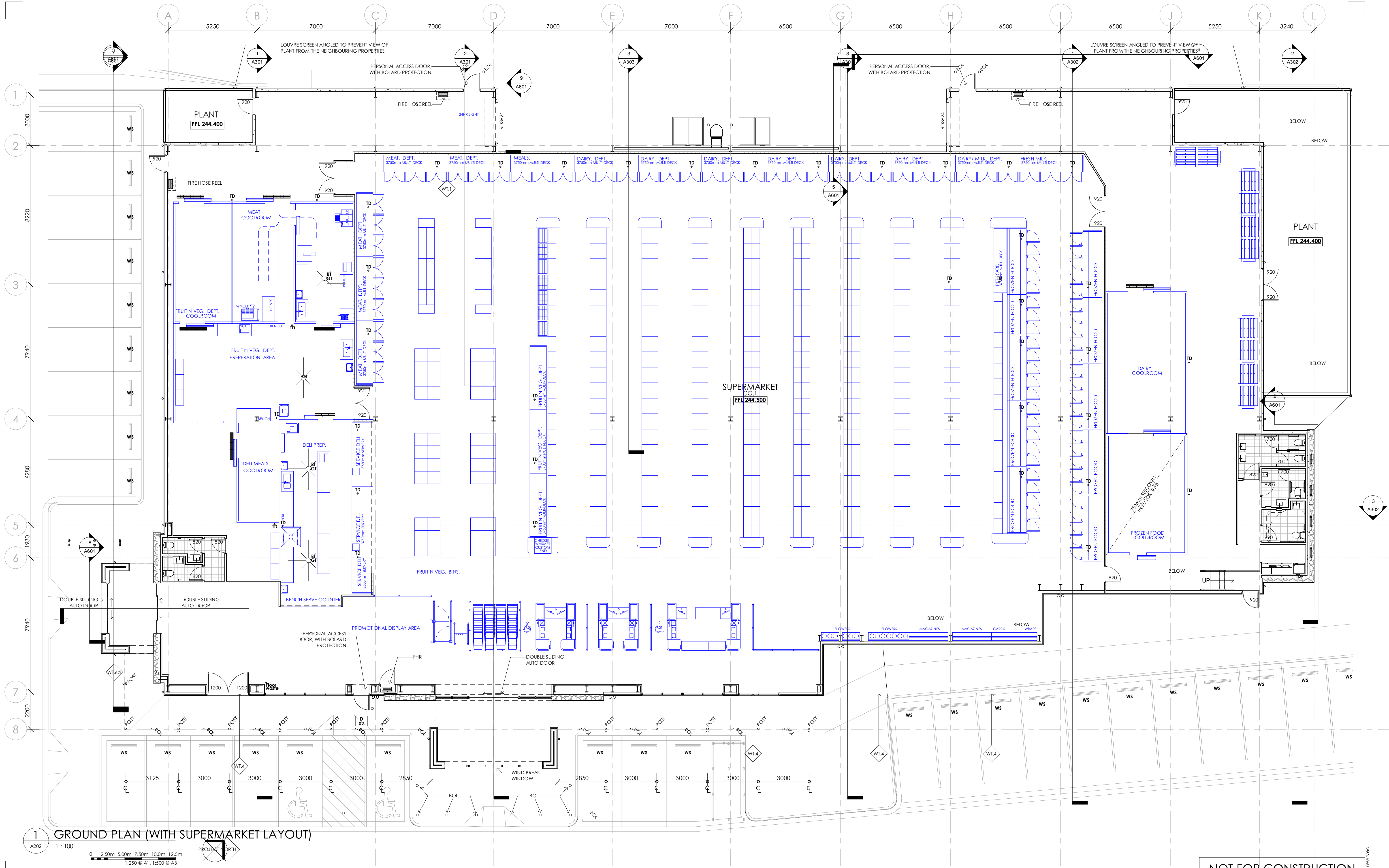


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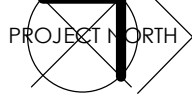
—
F

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1 GROUND PLAN (WITH SUPERMARKET LAYOUT)

1 : 100
0 2.50m 5.00m 7.50m 10.0m 12.5m
1:250 @ A1, 1:500 @ A3



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A	PROJECT TEAM COORDINATION	WS	WS	20.10.15
B	PROJECT TEAM COORDINATION	WS	WS	18.11.15
C	BUILDING CERTIFICATION	WS	WS	14.12.15
D	REVISED PLANNING	WS	WS	22.04.16
E	FOR COORDINATION	WS	WS	08.06.16
F	REVISED PLANNING	WS	WS	17.06.17
G	REVISED PLANNING	WS	WS	18.08.16
H	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
I	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
J	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
K	REVISED PLANNING	WS	WS	03.07.17
Issue	Issued For	By	Chkd	Date

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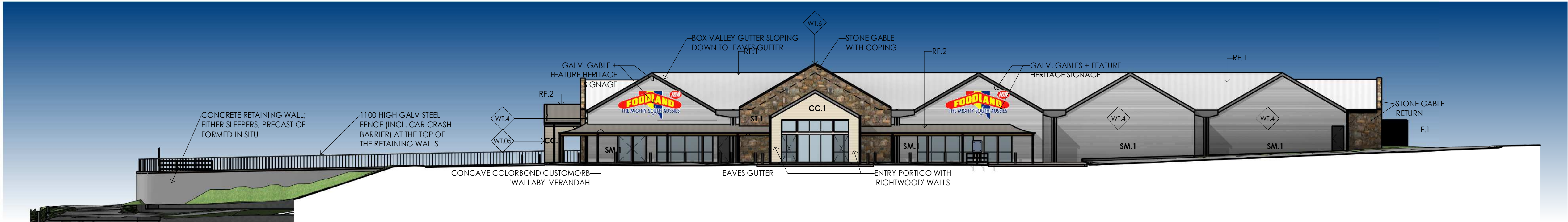
Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
FLOOR PLAN (WITH SUPERMARKET LAYOUT)

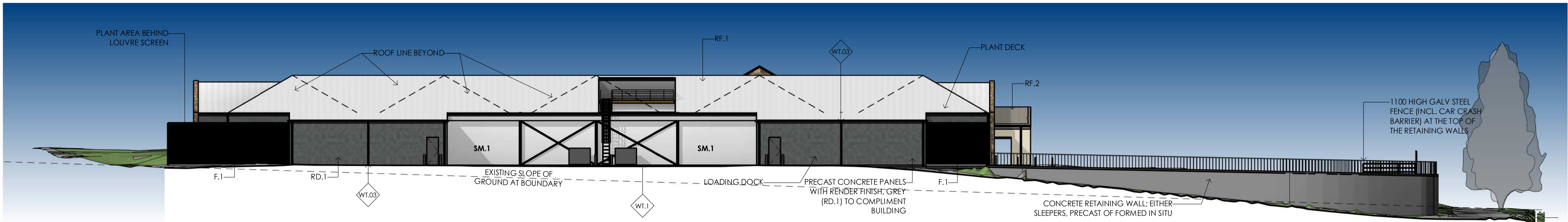
NOT FOR CONSTRUCTION

Project Number
1321
Drawing Number
A102
Issue
K

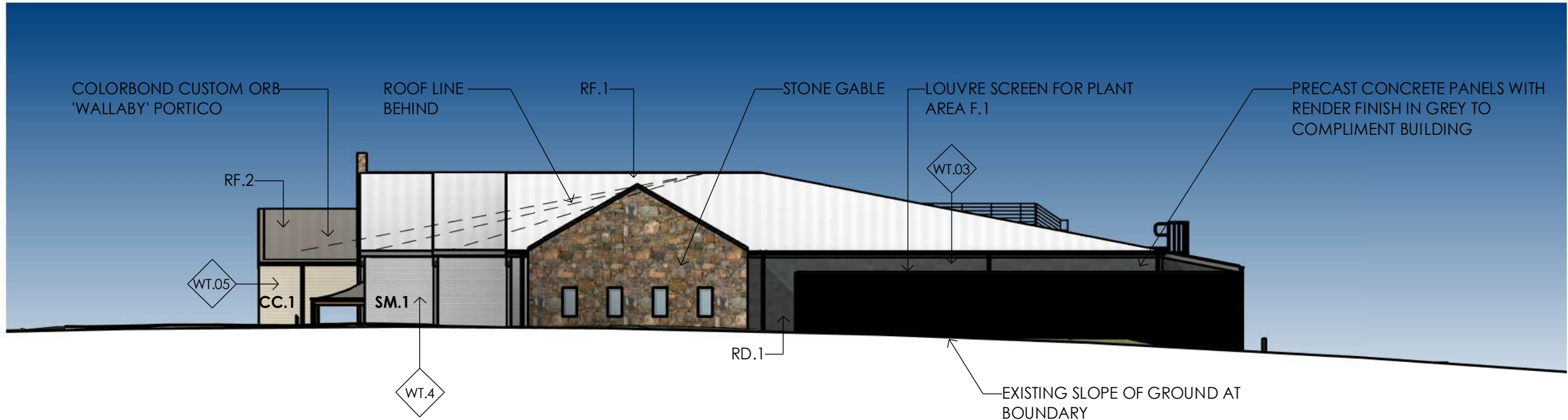




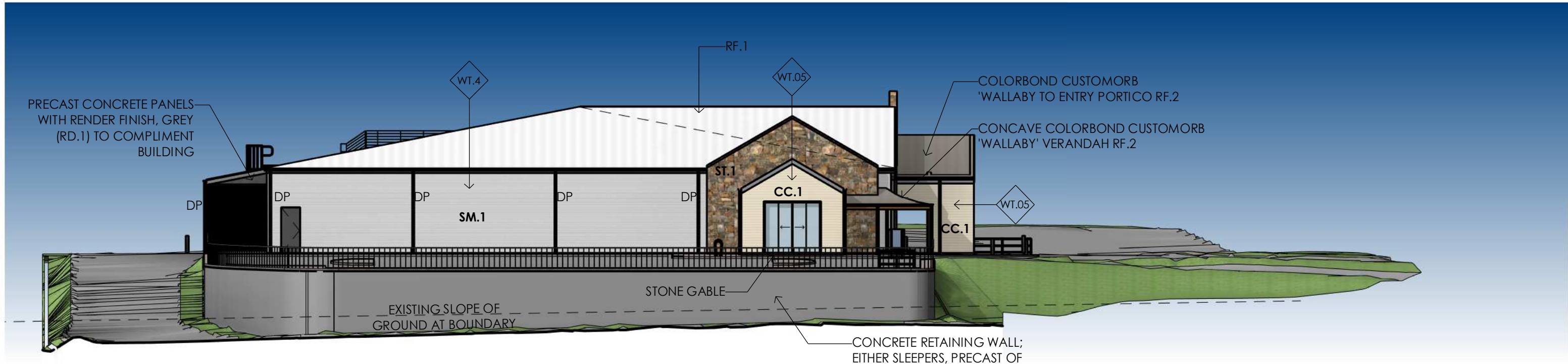
1 SITE ELEVATION - EAST
A011 1 : 200 0 2.0m 4.0m 6.0m 8.0m 10.0m
1:200 @ A1, 1:400 @ A3



2 SITE ELEVATION - WEST
A011 1 : 200 0 2.0m 4.0m 6.0m 8.0m 10.0m
1:200 @ A1, 1:400 @ A3



3 SITE ELEVATION - NORTH
A011 1 : 200 0 2.0m 4.0m 6.0m 8.0m 10.0m
1:200 @ A1, 1:400 @ A3



4 SITE ELEVATION - SOUTH
A011 1 : 200 0 2.0m 4.0m 6.0m 8.0m 10.0m
1:200 @ A1, 1:400 @ A3

EXTERNAL FINISHES SCHEDULE

ROOF + TRIMS:

SHEET CLADDING:

RF.1: ROOF CLADDING:

- CUSTOM ORB GALVASPAN SHEET CLADDING WITH MATCHING TRIM.

RF.2: ROOF CLADDING:

- CUSTOM ORB ROOF SHEETING COLORBOND WALLABY
- SELECT APPROPRIATE ROOF SHEET PROFILE TO SUIT ROOF PITCH

FASCIA + BARGE BOARDS:

- FASCIA FINISH: TO MATCH ROOF CLADDING

GUTTERS:

RG: ROOF GUTTER

- 150 HALF ROUND
- GUTTER FINISH: GALVANISED
- GUTTERS TO ACHIEVE A MINIMUM 1:200 FALL/ BOX GUTTERS TO ACHIEVE A MINIMUM 1:100 FALL TOWARDS DOWNPIPES.
- ALL NEW GUTTERS TO CONTAIN A BASIC LEAF GUARD MESH.

DOWNPIPES/RAINHEAD:

DP: DOWNPIPE

- 100dia DOWNPIPES WITH WALL BRACKETS AT 2000 C/C MAX.
- DOWNPIPES TO BE SPACED MAXIMUM 12M APART- REFER TO DRAWINGS FOR LOCATIONS
- DOWNPIPE FINISH: TO MATCH ADJACENT WALL COLOUR

RH: RAINHEAD

- FINISH: TO MATCH ADJACENT WALL COLOUR
- FINISH: Z600 DOUBLE THICKNESS HERITAGE GALVANISED.

SOFFITS/ EAVES LINING:

FC.1: FIBRE CEMENT SHEETS

- FIBRE CEMENT SHEETS WITH JOINING STRIPS SETOUT EVENLY.
- PAINTED FINISH: OFF WHITE
- REFER TO REFLECTED CEILING PLAN FOR FURTHER INFORMATION
- PROVIDE EAVES TO WALL TRIMS AT JUNCTION AS REQUIRED

WALLS:

METAL SHEET CLADDING:

SM.1: SHEET METAL CLADDING

- CUSTOM ORB GALVASPAN SHEET CLADDING
- 50MM BOXED FLASHINGS AT ALL CORNERS AND OPENINGS
- SHEETING IN ORIENTATION AS INDICATED ON DRAWING.

FENCE/SCREEN:

- F.1: LOUVRE SCREEN FINISH COLORBOND BASALT

RENDER FINISH:

RD.1: RENDER FINISH

- RENDER/ TEXTURE COAT FINISH TO WALLS. FINISH: TO MATCH COLORBOND BASALT

COMPOSITE CLADDING:

CC.1: 'RIGHTWOOD' WALLS

- BLUE CHIP 'RIGHTWOOD CLADDING' - DUROCLAD SYSTEM
- 'DCC11524' - DUROCLAD 115 x 24mm CEDAR

STONE WALLS:

ST.1: STONE WALLS

- NATURAL STONE (STONE AS SCHEDULED ON FLOORPLANS)
- CONFIRM STONE PATTERN + MORTAR COLOUR WITH OWNER PRIOR TO INSTALLATION

RETAINING WALLS:

- CONCRETE RETAINING WALL: EITHER SLEEPERS, PRECAST OF FORMED IN SITU

EXPOSED TIMBER / HARDWOOD:

- HARDWOOD SPECIES TO BE: MERBAU (ECONOMIC OPTION)/ SPOTTED GUM (PREMIUM OPTION)
- PROVIDE CLEAR NATURAL OIL TO EXPOSED HARDWOODS

EXPOSED STEELWORK:

- STEELWORK IN PAINTED FINISH: TO MATCH COLORBOND MONUMENT

WINDOWS + DOORS:

ALUMINIUM FRAMES:

- ALUMINIUM FRAME IN POWDERCOAT FINISH: TO MATCH COLORBOND MONUMENT

ROLLER SHUTTER:

- COLORBOND FINISH: WALLABY
- 'B&D DOORS' OR 'GLIDEROL' MANUFACTURERS: CONFIRM HARDWARE/AUTOMATION/WINDOWS/FINISHES WITH OWNER
- DOORS TO HAVE AUTOMATIC OPENING DEVICE

GENERAL NOTES:

- SELECT APPROPRIATE MATERIALS IN CONJUNCTION WITH THE REQUIREMENTS FOR APPLICABLE BUSHFIRE RISK AREA + FIRE RESISTANT MATERIALS NEAR BOUNDARIES.

THE BUILDER IS TO PROVIDE A SAMPLE OF EXTERNAL MATERIAL COLOURS + FINISHES TO THE OWNER PRIOR TO ORDERING.

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O	REVISED PLANNING	WS	WS	26.04.16
P	FOR COORDINATION	WS	WS	08.06.16
Q	REVISED PLANNING	WS	WS	17.06.17
R	REVISED PLANNING	WS	WS	18.08.16
S	CLIENT REVIEW/COORDINATION	WS	WS	21.09.16
T	CLIENT REVIEW/COORDINATION	WS	WS	09.11.16
U	COST SAVINGS CLIENT REVIEW	WS	WS	13.02.17
V	COST SAVINGS CLIENT REVIEW	WS	WS	23.02.17
W	COST SAVINGS CLIENT REVIEW	WS	WS	24.02.17
X	COST SAVINGS CLIENT REVIEW	WS	WS	09.03.17
Y	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
Z	REVISED PLANNING	WS	WS	03.07.17
Issue	Issued For	By	Chkd	Date



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Client

LINDNER GROUP

Project Address

OLD ADELAIDE ROAD KAPUNDA

Project Name

KAPUNDA SUPER MARKET

Drawing Title

SITE ELEVATIONS

NOT FOR CONSTRUCTION

Project Number

1321

Drawing Number

A201

Issue

Z



SERVICE VEHICLE
ACCESS ROAD

CARPARK

SUPERMARKET BUILDING

TOP OF GABLE + 8500
ROOF LEVEL + 7675
TOP OF LOWER GABLES + 7200

PARAPET + 4500
FINISH CL AMENITIES SOUTH + 3600
FINISH CEILING LEVEL - AMENITIES NORTH + 3000
AWNING + 2500

GROUND FLOOR + 0
FL 244.500

RETAINING WALL WITH FENCE
& SAFETY CRASH BARRIER OVER

1100 HIGH GALV STEEL FENCE (INCL. CAR CRASH
BARRIER) AT THE TOP OF THE RETAINING WALLS

1 SOUTH EAST CROSS SECTION

A103 1 : 100

0 1.0m 2.0m 3.0m 4.0m 5.0m
1:100 @ A1, 1:200 @ A3

ROOF LEVEL + 7675
TOP OF LOWER GABLES + 7200

PARAPET + 4500
FINISH CL AMENITIES SOUTH + 3600
FINISH CEILING LEVEL - AMENITIES NORTH + 3000

GROUND FLOOR + 0
FL 244.500

POTENTIAL RESIDENTIAL
BUILDING

2100 HIGH
FENCE OVER

BOUNDARY
LANDSCAPE PLANTING

LINE OF BUILDING
SHOWN DASHED IN
BACKGROUND

SUPERMARKET BUILDING

(e) EARTH BATTER
TO REMAIN

FENCE PLINTH
NOM 200 HIGH

2 SOUTH WEST CROSS SECTION

A104 1 : 100

0 1.0m 2.0m 3.0m 4.0m 5.0m
1:100 @ A1, 1:200 @ A3

NOM 5000

NOM 2700

HARRIOT STREET

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G	PROJECT TEAM COORDINATION	WS	WS	23.09.15
H	PROJECT TEAM COORDINATION	WS	WS	20.10.15
I	PROJECT TEAM COORDINATION	WS	WS	18.11.15
J	BUILDING CERTIFICATION	WS	WS	14.12.15
K	REVISED PLANNING	WS	WS	22.04.16
L	FOR COORDINATION	WS	WS	08.06.16
M	REVISED PLANNING	WS	WS	17.06.17
N	REVISED PLANNING	WS	WS	18.08.16
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Q	PRE REVISED PLANNING REVIEW	WS	WS	20.06.17
R	REVISED PLANNING	WS	WS	03.07.17
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Client

LINDNER GROUP

Project Address

OLD ADELAIDE ROAD KAPUNDA

Project Name

KAPUNDA SUPER MARKET

Drawing Title

CROSS SECTIONS

NOT FOR CONSTRUCTION

Project Number
1321

Drawing Number
A211

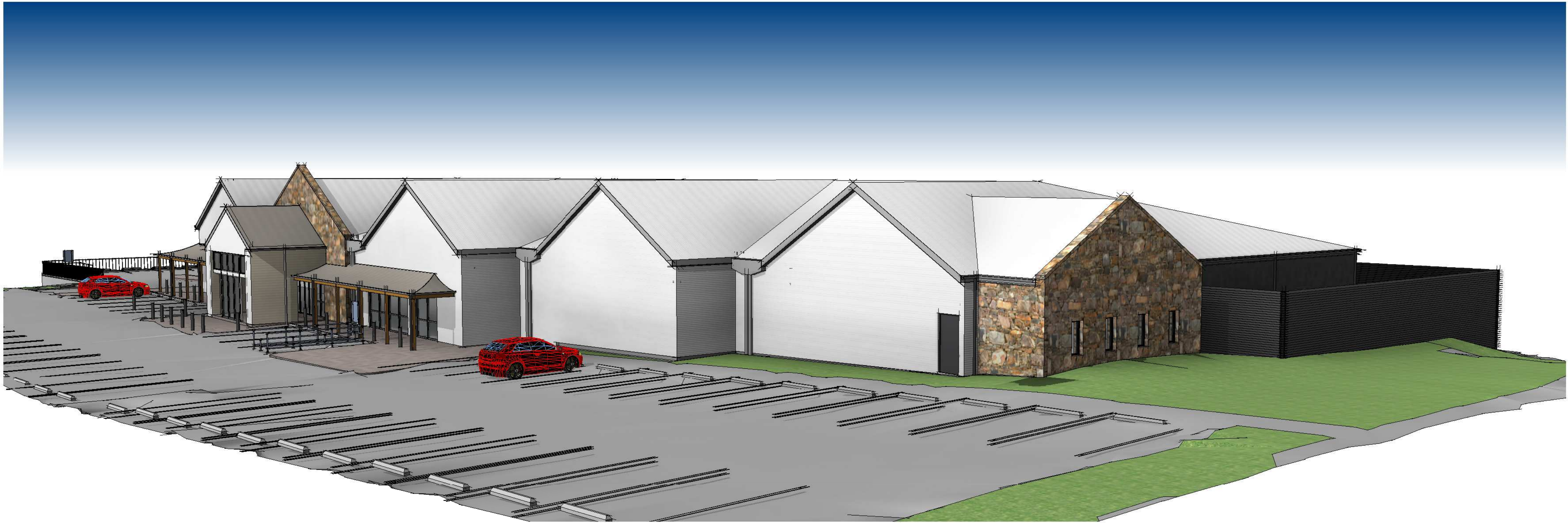
Issue
R



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1 VIEW FROM SOUTH



2 VIEW FROM NORTH

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O	REVISED PLANNING	WS	WS	17.06.17
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X	REVISED PLANNING	WS	WS	03.07.17
Issue	Issued For	By	Chkd	Date



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Client
LINDNER GROUP
Project Address
OLD ADELAIDE ROAD KAPUNDA

Project Name
KAPUNDA SUPER MARKET
Drawing Title
PERSPECTIVES

NOT FOR CONSTRUCTION

Project Number
1321
Drawing Number
A901
Issue
X



PROPOSED KAPUNDA SUPERMARKET

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CIVIL DESIGN DRAWINGS



SITE LAYOUT

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL ACCURATELY VERIFY THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS, AND TAKE CARE TO PROTECT EXISTING SERVICES & STRUCTURES DURING WORKS.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENT OF ANY DISCREPANCIES ENCOUNTERED WITHIN THESE DRAWINGS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLETE ALL SURVEYS AND TESTING AS REQUIRED IN THE SPECIFICATION. REFER TO SPECIFICATION FOR COORDINATION OF GEO-TECHNICAL TESTING AUTHORITY AND LICENSED SURVEYOR PRIOR TO, DURING AND AT COMPLETION OF EARTHWORKS AND AS-CONSTRUCTED SURVEYS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC MANAGEMENT AS REQUIRED TO COMPLETE THE WORKS.
- THE CONTRACTOR SHALL NOTIFY RELEVANT AUTHORITIES PRIOR TO COMMENCING WORKS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION.
- ALL WORK SHALL BE CARRIED OUT AND COMPLETED TO THE SATISFACTION OF THE SUPERINTENDENT.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR DECISION BEFORE PROCEEDING WITH ANY WORKS.

STORMWATER NOTES:

- ALL STORMWATER PIPES TO BE CLASS 2 RCP WITH RUBBER RING JOINTS (RRJ) UNLESS NOTED OTHERWISE.
- RIBLOC (PLASTREAM) PIPES TO BE BEDDED, LAID AND BACKFILLED STRICTLY IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
- PVC STORMWATER PIPES TO BE CLASS S8 PVC-U UNLESS NOTED OTHERWISE.
- DESIGN LEVELS REFER TO TOP OF LID AT ALL STORMWATER STRUCTURES.
- COORDINATES OF SIDE ENTRY PITS REFER TO THE CENTRE OF THE PIT AT THE INVERT OF WATERTABLE (FACE OF KERB). COORDINATES OF JUNCTION BOXES, GIPS AND LETTERBOX PITS REFER TO THE CENTRE OF PIT. COORDINATES OF HEADWALLS AND ENDWALLS REFER TO THE END OF PIPE/FACE OF WALL.
- PROVIDE GALVANISED KERB INSERTS TO ALL ALLOTMENTS ON LOW SIDE OF ALLOTMENTS (0.5m FROM SIDE BOUNDARY) WHERE NO REAR OF ALLOTMENT DRAIN IS PROVIDED, OR AS SHOWN ON THESE PLANS. KERB OUTLET LOCATIONS ARE APPROXIMATE ONLY AND ARE TO BE LOCATED TO AVOID OTHER SERVICES.
- ALL RCB TO HAVE DENSO TAPE APPLIED TO ALL EXTERNAL JOINTS (OR APPROVED EQUIVALENT).

JUNCTION TO EXISTING WORKS NOTES:

- ALL REDUNDANT DRIVEWAY AND FOOTPATH CROSS-OVERS ARE TO BE REMOVED. KERBS REINSTATED AND VERGE MADE GOOD IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- LEVELS OF EXISTING SERVICE COVERS SHALL BE ADJUSTED TO SUIT DESIGN LEVELS (IF REQUIRED).
- PRIOR TO WORKS COMMENCING THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS OF INTENDED WORKS.
- ALL NEW WORK SHALL NEATLY MATCH TO EXISTING SURROUNDS. CONTRACTOR SHALL MAKE GOOD AREAS NOT COVERED UNDER THESE SITE WORKS THAT HAVE BEEN DISTURBED.

SETOUT NOTES:

- SETOUT COORDINATES ARE BASED ON MGA94. LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD).
- KERB RAMP SETOUT REFERS TO CENTRE OF RAMP AT INVERT OF KERB.
- THE CONTRACTOR SHALL VERIFY THE TBM (DATUM) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL KERB SETOUT INFORMATION REFERS TO INVERT OF WATERTABLE (FACE OF KERB) UNLESS NOTED OTHERWISE.
- TRANSITION TO OR FROM OUTFALL KERB OVER 2.0m.
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- THESE PLANS ARE NOT TO BE USED FOR SETTING OUT PURPOSES. REFER TO ARCHITECTURAL DRAWINGS FOR THIS INFORMATION.
- FEATURE SURVEY HAS BEEN PROVIDED BY OTHER PARTIES. REFER TO THE SURVEYORS DRAWINGS FOR DETAILED FEATURE SURVEY INFORMATION AND BOUNDARY POSITIONS. THIS INFORMATION SHALL NOT BE OBTAINED FROM THIS DRAWING SET.
- ALL DIMENSIONS RELEVANT TO SETTING OUT AND PRECAST WORKS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE FABRICATION AND CONSTRUCTION IS COMMENCED.
- THESE DRAWINGS SHALL NOT BE SCALED FROM.

DRAWING LIST

DRAWING NUMBER	DESCRIPTION
S19459-237351-C101	COVER SHEET, LOCALITY PLAN, NOTES AND DRAWING LIST
S19459-237351-C102	DEMOLITION PLAN
S19459-237351-C103	GENERAL ARRANGEMENT LAYOUT
S19459-237351-C104	GENERAL CONSTRUCTION PLAN - SHEET 1 OF 5
S19459-237351-C105	GENERAL CONSTRUCTION PLAN - SHEET 2 OF 5
S19459-237351-C106	GENERAL CONSTRUCTION PLAN - SHEET 3 OF 5
S19459-237351-C107	GENERAL CONSTRUCTION PLAN - SHEET 4 OF 5
S19459-237351-C108	GENERAL CONSTRUCTION PLAN - SHEET 5 OF 5
S19459-237351-C111	FINAL SURFACE CONTOUR LAYOUT
S19459-237351-C112	FINAL SURFACE CONTOUR PLAN - SHEET 1 OF 4
S19459-237351-C113	FINAL SURFACE CONTOUR PLAN - SHEET 2 OF 4
S19459-237351-C114	FINAL SURFACE CONTOUR PLAN - SHEET 3 OF 4
S19459-237351-C115	FINAL SURFACE CONTOUR PLAN - SHEET 4 OF 4
S19459-237351-C121	CIVIL DETAILS
S19459-237351-C131	CONCRETE JOINTING PLAN
S19459-237351-C132	CONCRETE JOINTING DETAIL
S19459-237351-C151	CARPARK LONGITUDINAL SECTIONS - SHEET 1 OF 1
S19459-237351-C152	ACCESS ROAD LONGITUDINAL SECTION - SHEET 1 OF 1
S19459-237351-C153	CARPARK 01 CROSS SECTIONS - SHEET 1 OF 4
S19459-237351-C154	CARPARK 01 CROSS SECTIONS - SHEET 2 OF 4
S19459-237351-C155	CARPARK 01 CROSS SECTIONS - SHEET 3 OF 4
S19459-237351-C156	CARPARK 01 CROSS SECTIONS - SHEET 4 OF 4
S19459-237351-C157	CARPARK 03 CROSS SECTIONS - SHEET 1 OF 3
S19459-237351-C158	CARPARK 03 CROSS SECTIONS - SHEET 2 OF 3
S19459-237351-C159	CARPARK 03 CROSS SECTIONS - SHEET 3 OF 3
S19459-237351-C160	CARPARK 04 CROSS SECTIONS - SHEET 1 OF 2
S19459-237351-C161	CARPARK 04 CROSS SECTIONS - SHEET 2 OF 2
S19459-237351-C181	SETOUT LAYOUT
S19459-237351-C182	SETOUT TABLE

REV	DESCRIPTION	DATE	INT	APP
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

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CLIENT
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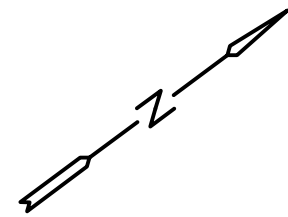
SITE ADDRESS

CNR CARRINGTON STREET AND MAIN STREET
KAPUNDA, SA 5373

DRAWING TITLE

COVER SHEET, LOCALITY PLAN, NOTES AND DRAWING LIST

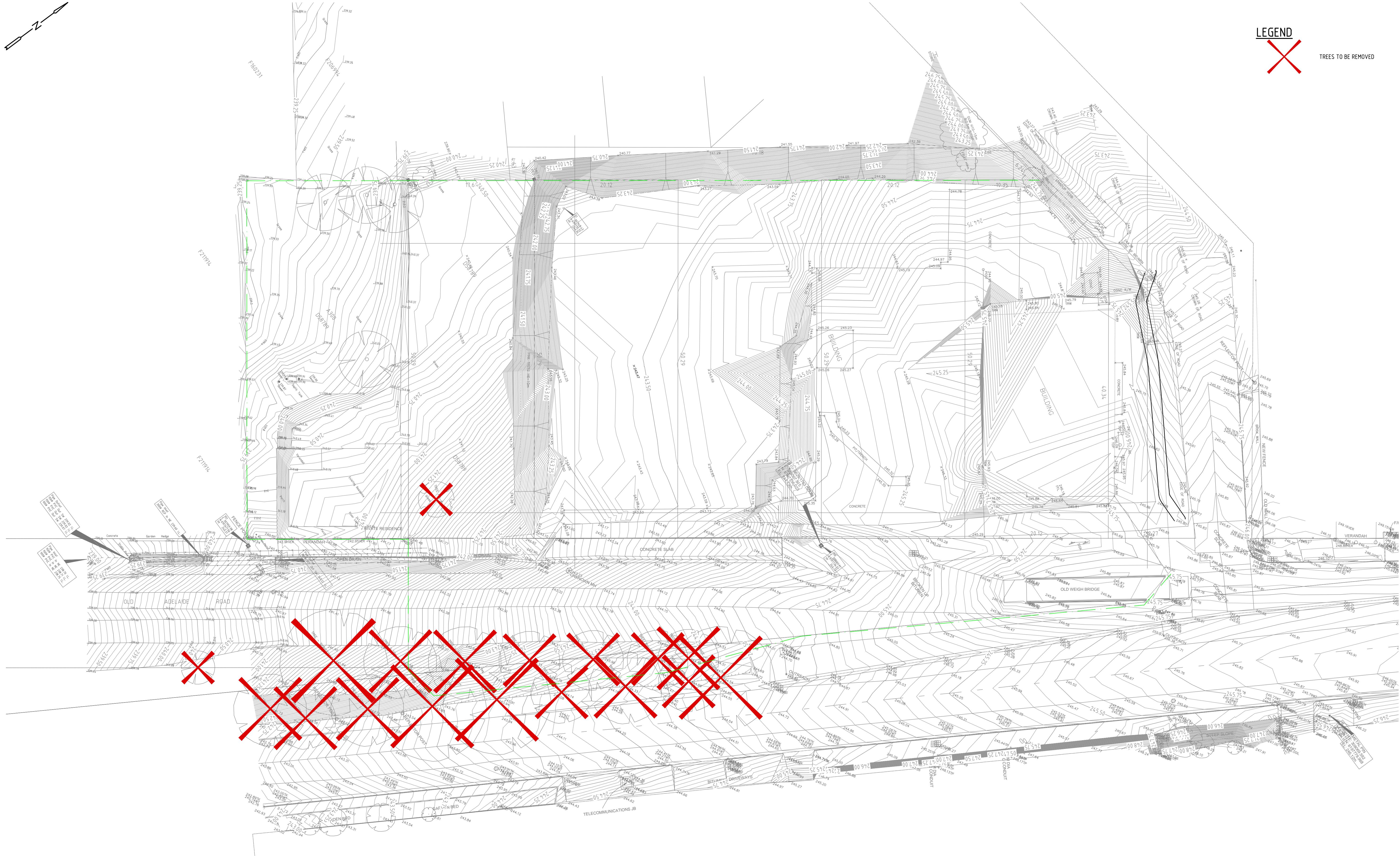
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DRAWING No.	C101		E



LEGEND



TREES TO BE REMOVED



REV	DESCRIPTION	DATE	INIT	APP
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
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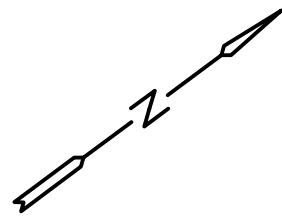
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DRAWING TITLE
EXISTING SURVEY

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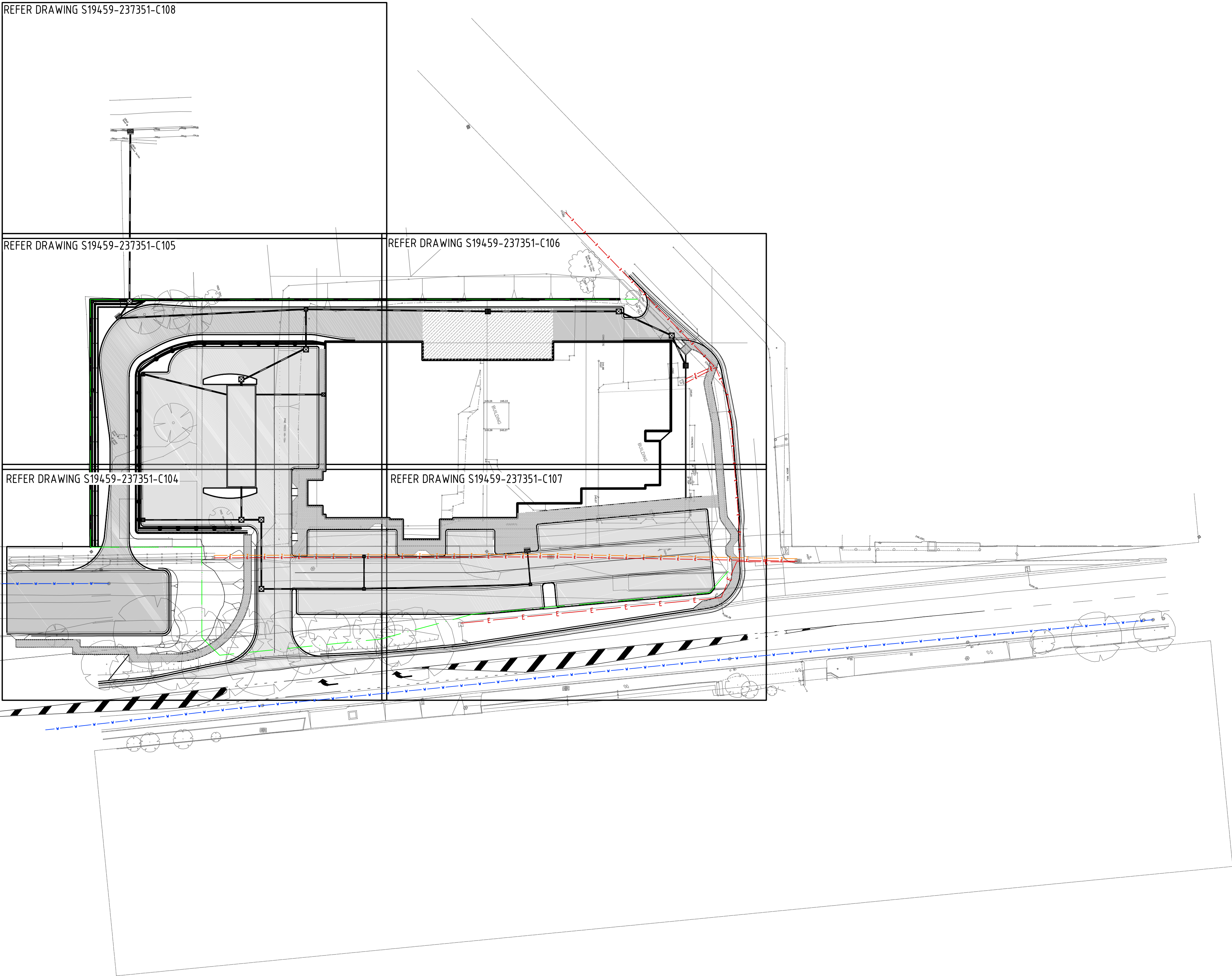
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REFER DRAWING S19459-237351-C105

REFER DRAWING S19459-237351-C106

REFER DRAWING S19459-237351-C104

REFER DRAWING S19459-237351-C107



REV	DESCRIPTION	DATE	INIT	APP
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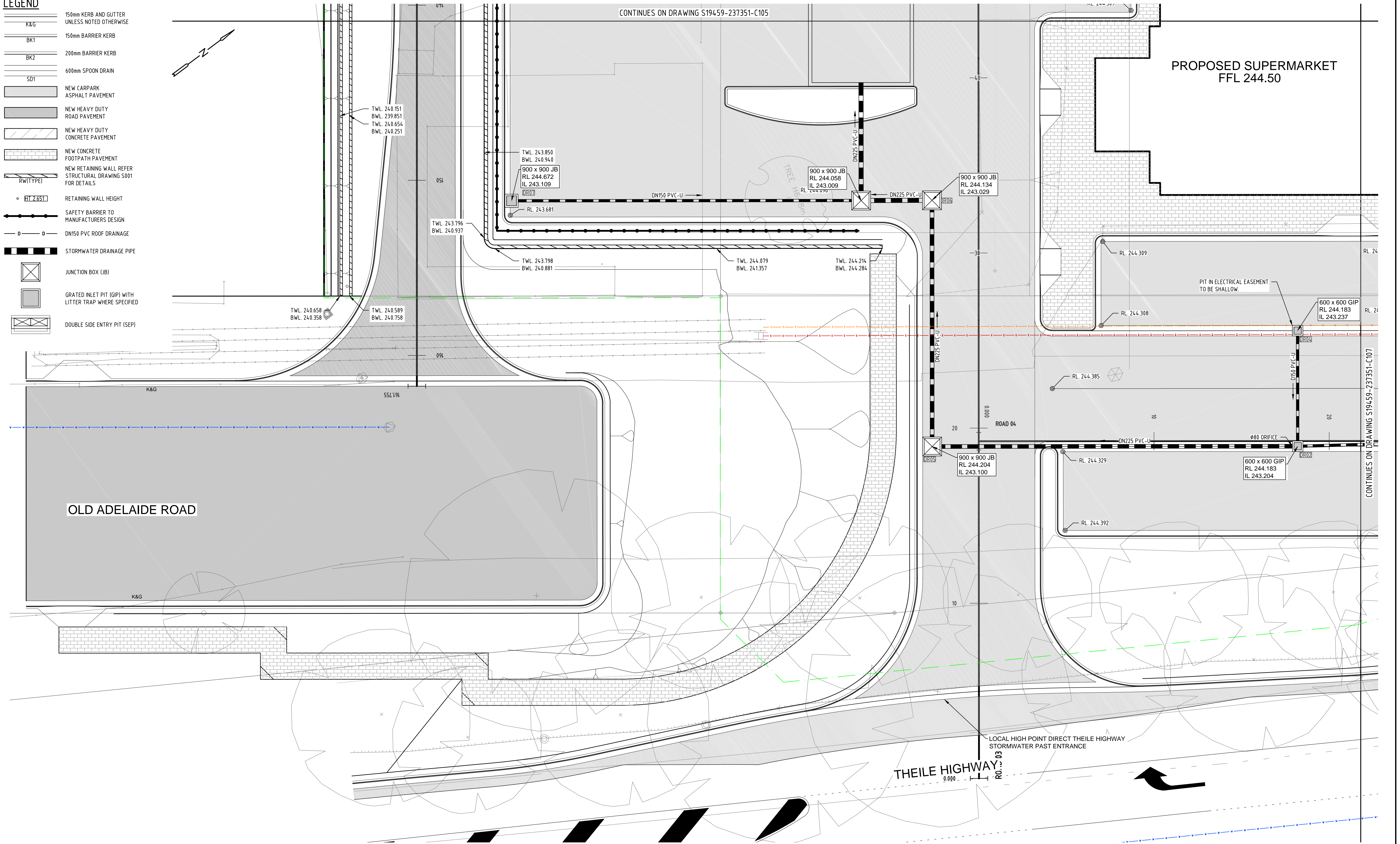
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SITE ADDRESS
CNR CARRINGTON STREET AND MAIN STREET
KAPUNDA, SA 5373
DRAWING TITLE
GENERAL ARRANGEMENT LAYOUT

DESIGNED	JDN	DRAWN	JDN
CHECKED		NO. OF SHEETS	
SCALE	1:500 @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No.	S19459-237351	REV.	
DRAWING No.	C103		E

LEGEND

- 150mm KERB AND GUTTER
UNLESS NOTED OTHERWISE
- BK1 150mm BARRIER KERB
- BK2 200mm BARRIER KERB
- SD1 600mm SPOON DRAIN
- NEW CARPARK ASPHALT PAVEMENT
- NEW HEAVY DUTY ROAD PAVEMENT
- NEW HEAVY DUTY CONCRETE PAVEMENT
- NEW CONCRETE FOOTPATH PAVEMENT
- NEW RETAINING WALL REFER STRUCTURAL DRAWING S001 FOR DETAILS
- RW(TYPE)
- RETAINING WALL HEIGHT
- SAFETY BARRIER TO MANUFACTURERS DESIGN
- DN150 PVC ROOF DRAINAGE
- STORMWATER DRAINAGE PIPE
- JUNCTION BOX (JB)
- GRATED INLET PIT (GIP) WITH LITTER TRAP WHERE SPECIFIED
- DOUBLE SIDE ENTRY PIT (SEP)



REV	DESCRIPTION	DATE	INIT	APP
F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
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SCALE 0 1 2 3 4 5 METRES

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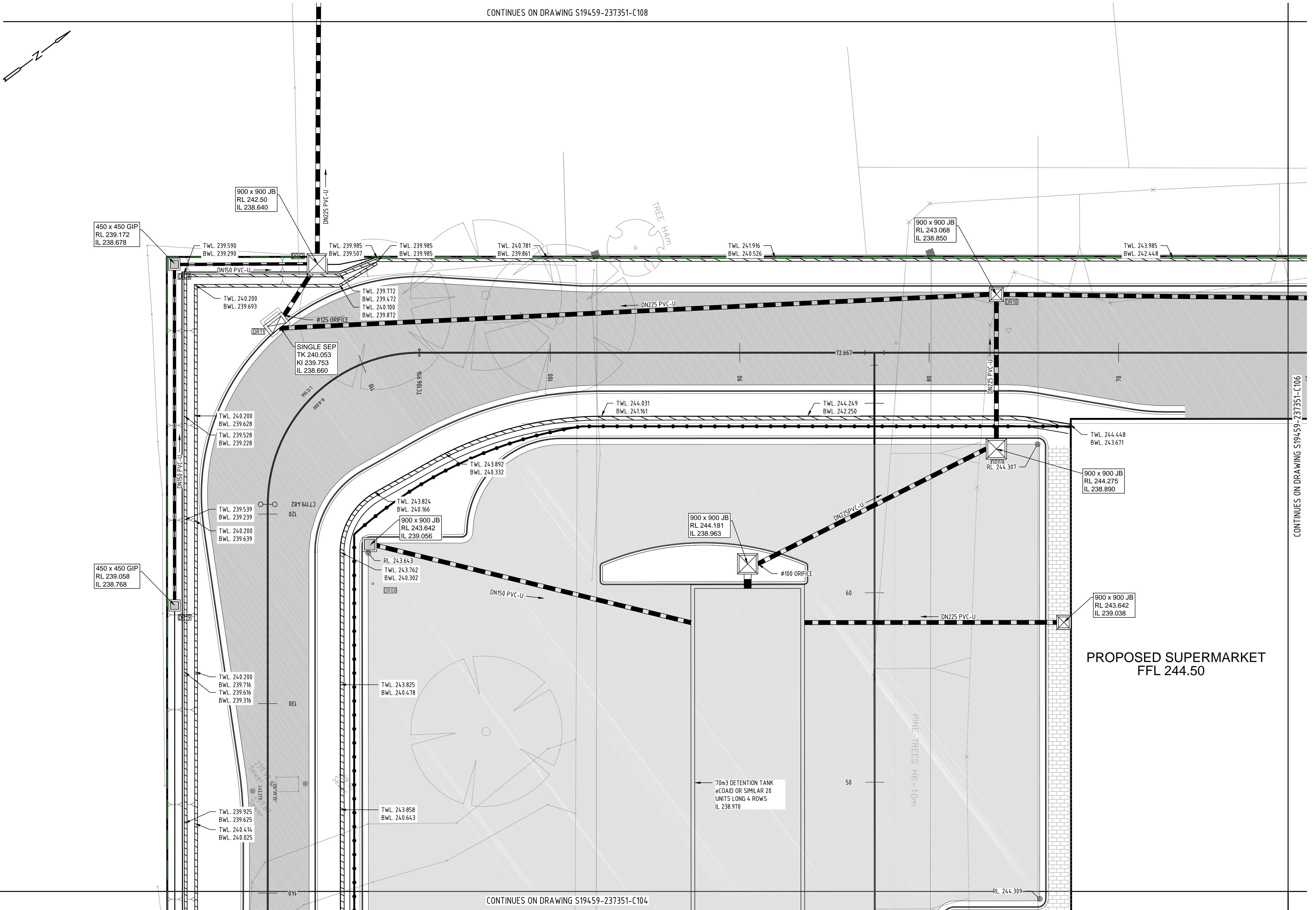
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DRAWING TITLE
GENERAL CONSTRUCTION PLAN - SHEET 1 OF 5

DESIGNED	JDN	DRAWN	JDN
CHECKED		NO. OF SHEETS	
SCALE	1:100 @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No.	S19459-237351	REV.	
DRAWING No.	C104		F

LEGEND

- 150mm KERB AND GUTTER
UNLESS NOTED OTHERWISE
- 150mm BARRIER KERB
- 200mm BARRIER KERB
- 600mm SPOON DRAIN
- NEW CARPARK
ASPHALT PAVEMENT
- NEW HEAVY DUTY
ROAD PAVEMENT
- NEW HEAVY DUTY
CONCRETE PAVEMENT
- NEW CONCRETE
FOOTPATH PAVEMENT
- NEW RETAINING WALL REFER
STRUCTURAL DRAWING S001
FOR DETAILS
- RETAINING WALL HEIGHT
- SAFETY BARRIER TO
MANUFACTURERS DESIGN
- DN150 PVC ROOF DRAINAGE
- STORMWATER DRAINAGE PIPE
- JUNCTION BOX (JB)
- GRATED INLET PIT (GIP) WITH
LITTER TRAP WHERE SPECIFIED
- DOUBLE SIDE ENTRY PIT (SEP)



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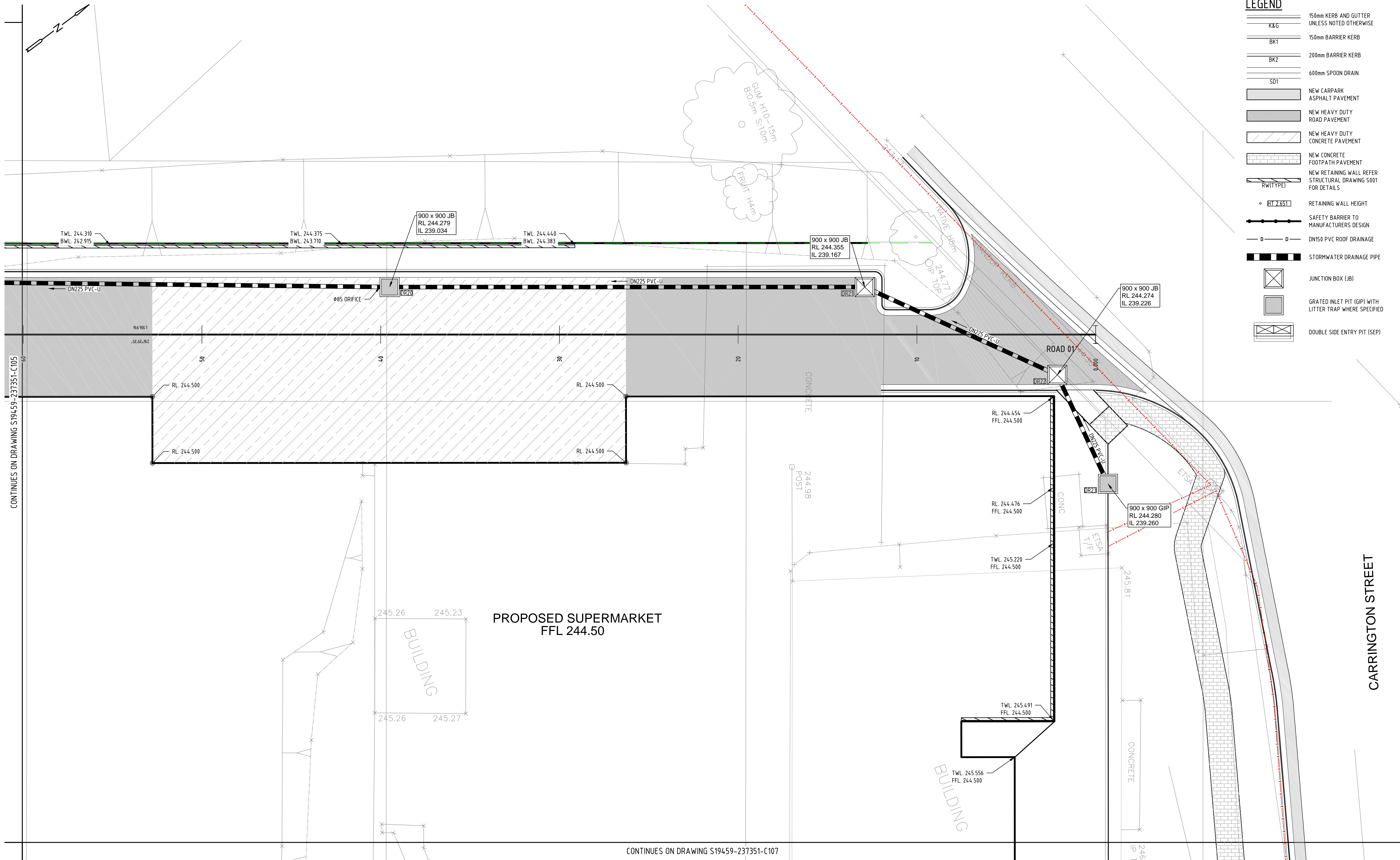
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CNR CARRINGTON STREET AND MAIN STREET
KAPUNDA, SA 5373
DRAWING TITLE
GENERAL CONSTRUCTION PLAN - SHEET 2 OF 5

DESIGNED	DRAWN
JDN	JDN
CHECKED	NO. OF SHEETS
SCALE	DATE STARTED
1:100 @ A1	10.06.2016
SITE ID & JOB No.	REV.
S19459-237351	
DRAWING No.	
C105	F



REV	DESCRIPTION	DATE	INIT	APP
F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

SCALE 0 1 2 3 4 5 METRES

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SOIL & MATERIAL TESTING | HOUSING | COMMERCIAL | PROJECT MANAGEMENT | SURVEY

CLIENT
AHRENS PTY LTD

PROJECT TITLE

PROPOSED KAPUNDA SUPERMARKET

SITE ADDRESS

CNR CARRINGTON STREET AND MAIN STREET
KAPUNDA, SA 5373

DRAWING TITLE

GENERAL CONSTRUCTION PLAN - SHEET 3 OF 5

DESIGNED	JDN	DRAWN	JDN
CHECKED		NO. OF SHEETS	
SCALE	1:100 @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No.	S19459-237351	REV.	
DRAWING No.	C106		F

LEGEND

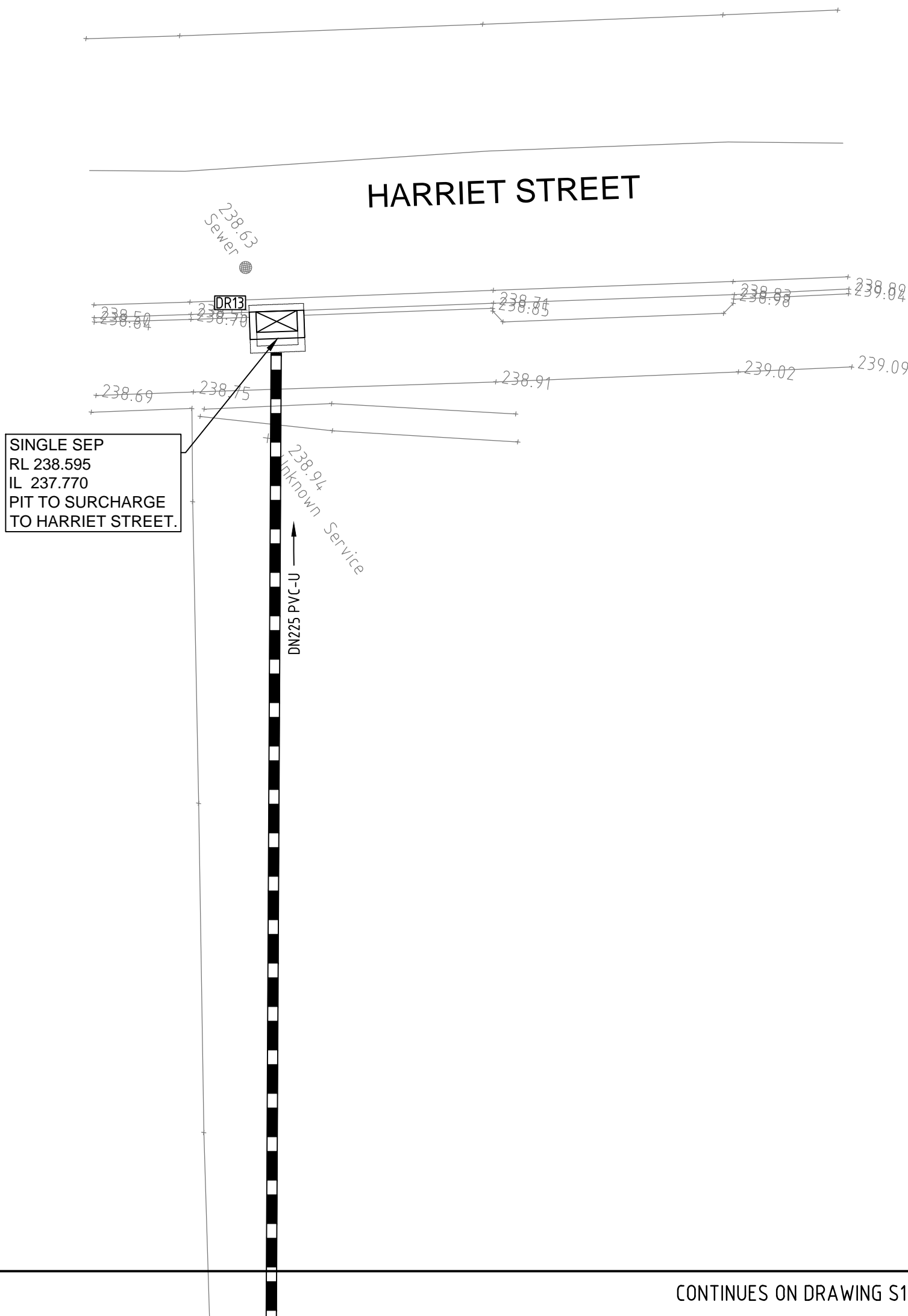
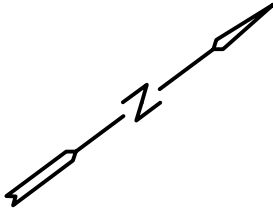
- K&G

150mm KERB AND GUTTER
UNLESS NOTED OTHERWISE
- BK1

150mm BARRIER KERB
- BK2

200mm BARRIER KERB
- SD1

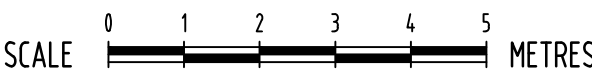
600mm SPOON DRAIN
- NEW CARPARK
ASPHALT PAVEMENT
- NEW HEAVY DUTY
ROAD PAVEMENT
- NEW HEAVY DUTY
CONCRETE PAVEMENT
- NEW CONCRETE
FOOTPATH PAVEMENT
- NEW RETAINING WALL REFER
STRUCTURAL DRAWING S001
FOR DETAILS
- RETAINING WALL HEIGHT
- SAFETY BARRIER TO
MANUFACTURERS DESIGN
- DN150 PVC ROOF DRAINAGE
- STORMWATER DRAINAGE PIPE
- JUNCTION BOX (JB)
- GRATED INLET PIT (GIP) WITH
LITTER TRAP WHERE SPECIFIED
- DOUBLE SIDE ENTRY PIT (SEP)



CONTINUES ON DRAWING S19459-237351-C106

REV	DESCRIPTION	DATE	INIT	APP
F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

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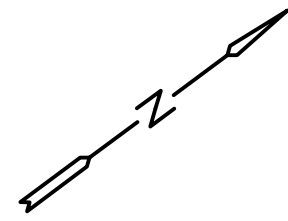
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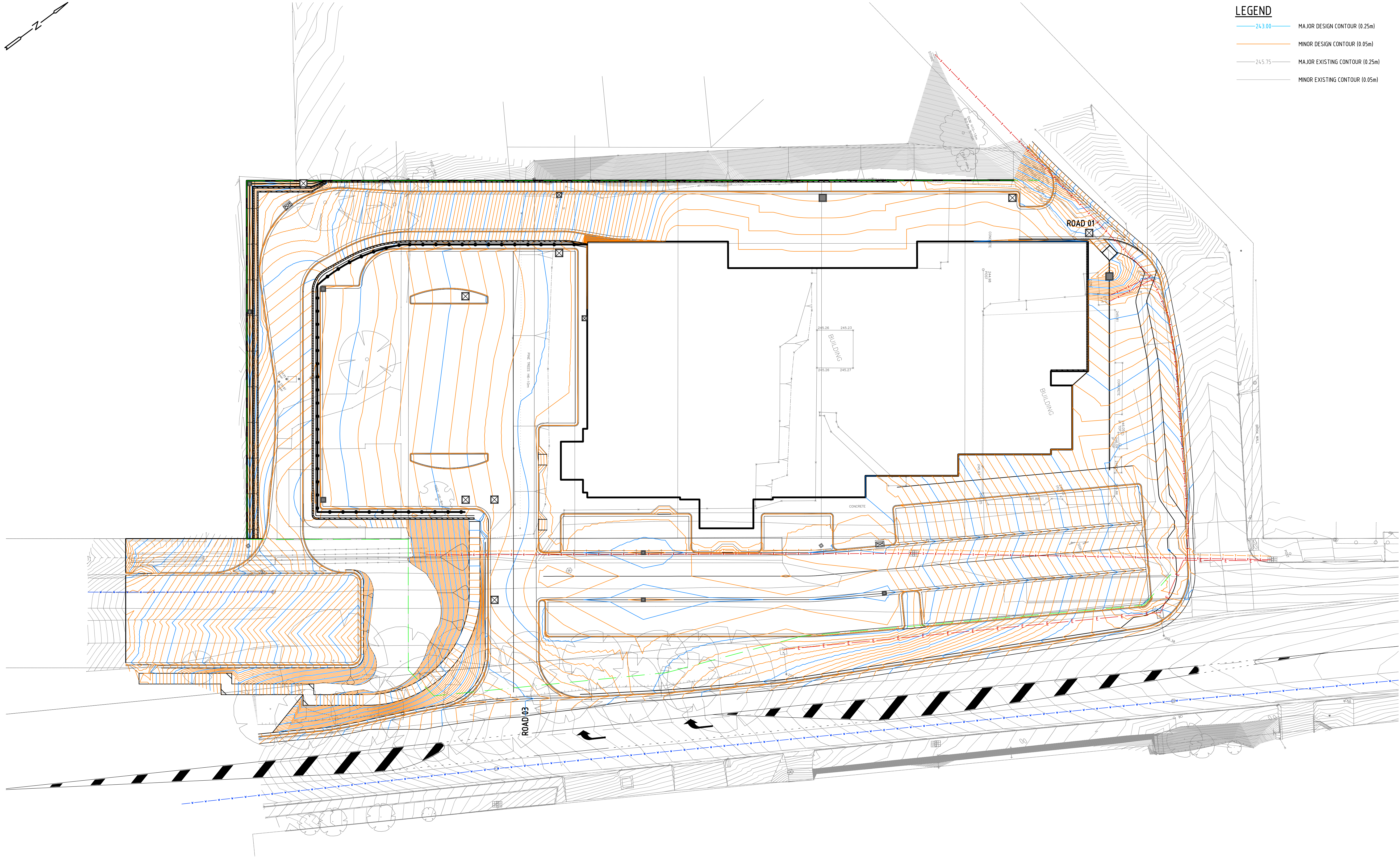
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| SOIL & MATERIAL TESTING | HOUSING | COMMERCIAL | PROJECT MANAGEMENT | SURVEY

CLIENT AHRENS PTY LTD	DESIGNED JDN	DRAWN JDN
PROJECT TITLE PROPOSED KAPUNDA SUPERMARKET	CHECKED	NO. OF SHEETS
SITE ADDRESS CNR CARRINGTON STREET AND MAIN STREET KAPUNDA, SA 5373	SCALE 1:100 @ A1	DATE STARTED 10.06.2016
DRAWING TITLE GENERAL CONSTRUCTION PLAN - SHEET 5 OF 5	SITE ID & JOB No. S19459-237351	REV. E
	DRAWING No. C108	



LEGEND

- MAJOR DESIGN CONTOUR (0.25m)
- MINOR DESIGN CONTOUR (0.05m)
- MAJOR EXISTING CONTOUR (0.25m)
- MINOR EXISTING CONTOUR (0.05m)



REV	DESCRIPTION	DATE	INT	APP
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

PRELIMINARY ISSUE
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SCALE 0 25 50 75 100 125 METRES

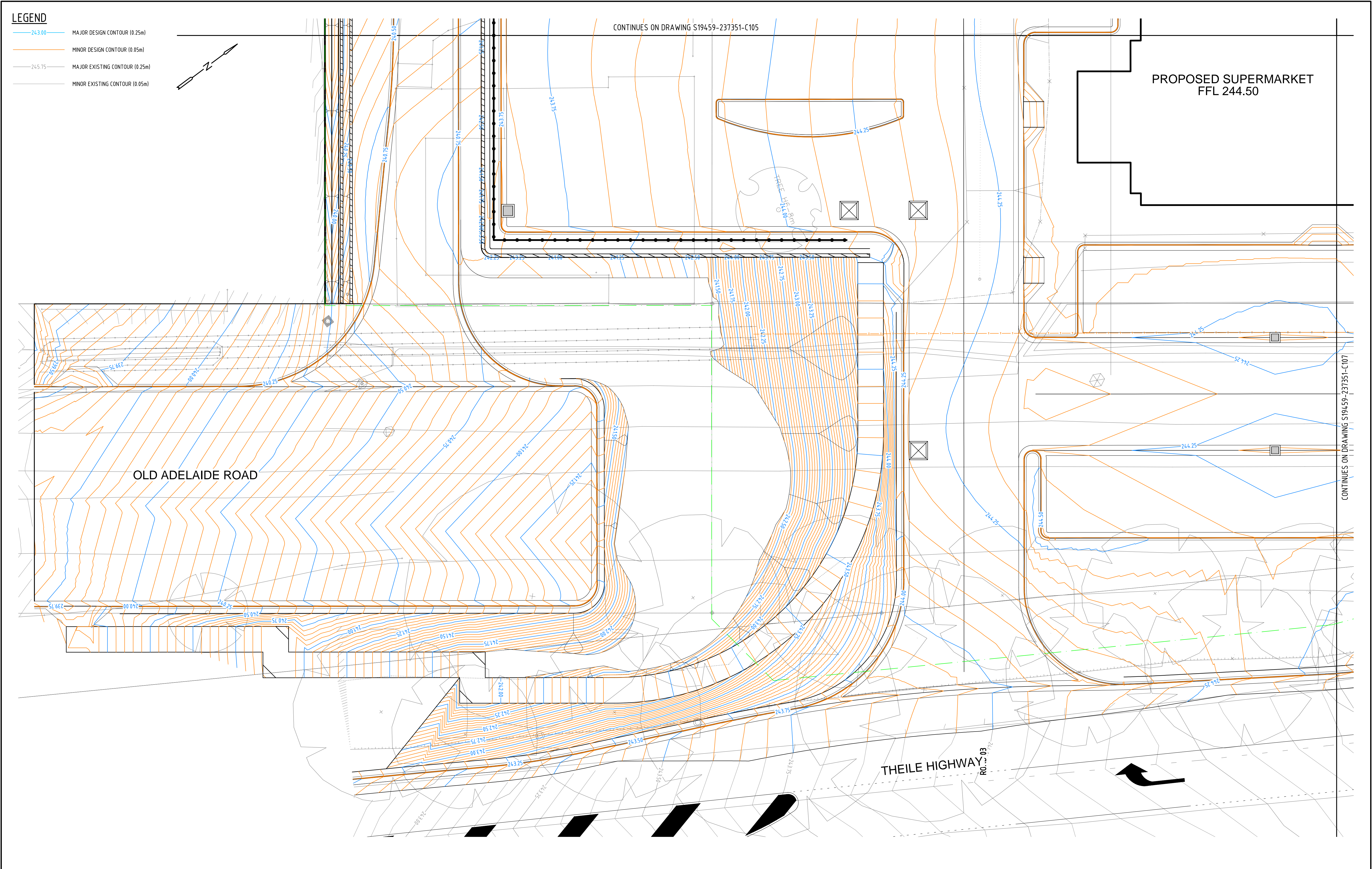
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CLIENT
AHRENS PTY LTD
PROJECT TITLE
PROPOSED KAPUNDA SUPERMARKET
SITE ADDRESS
CNR CARRINGTON STREET AND MAIN STREET
KAPUNDA, SA 5373
DRAWING TITLE
FINAL SURFACE CONTOUR LAYOUT

DESIGNED	JDN	DRAWN	JDN
CHECKED		NO. OF SHEETS	
SCALE	1:250 @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No.	S19459-237351	REV.	
DRAWING No.	C111		E



REV	DESCRIPTION	DATE	INIT	APP
F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

PRELIMINARY ISSUE
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SCALE 0 1 2 3 4 5 METRES

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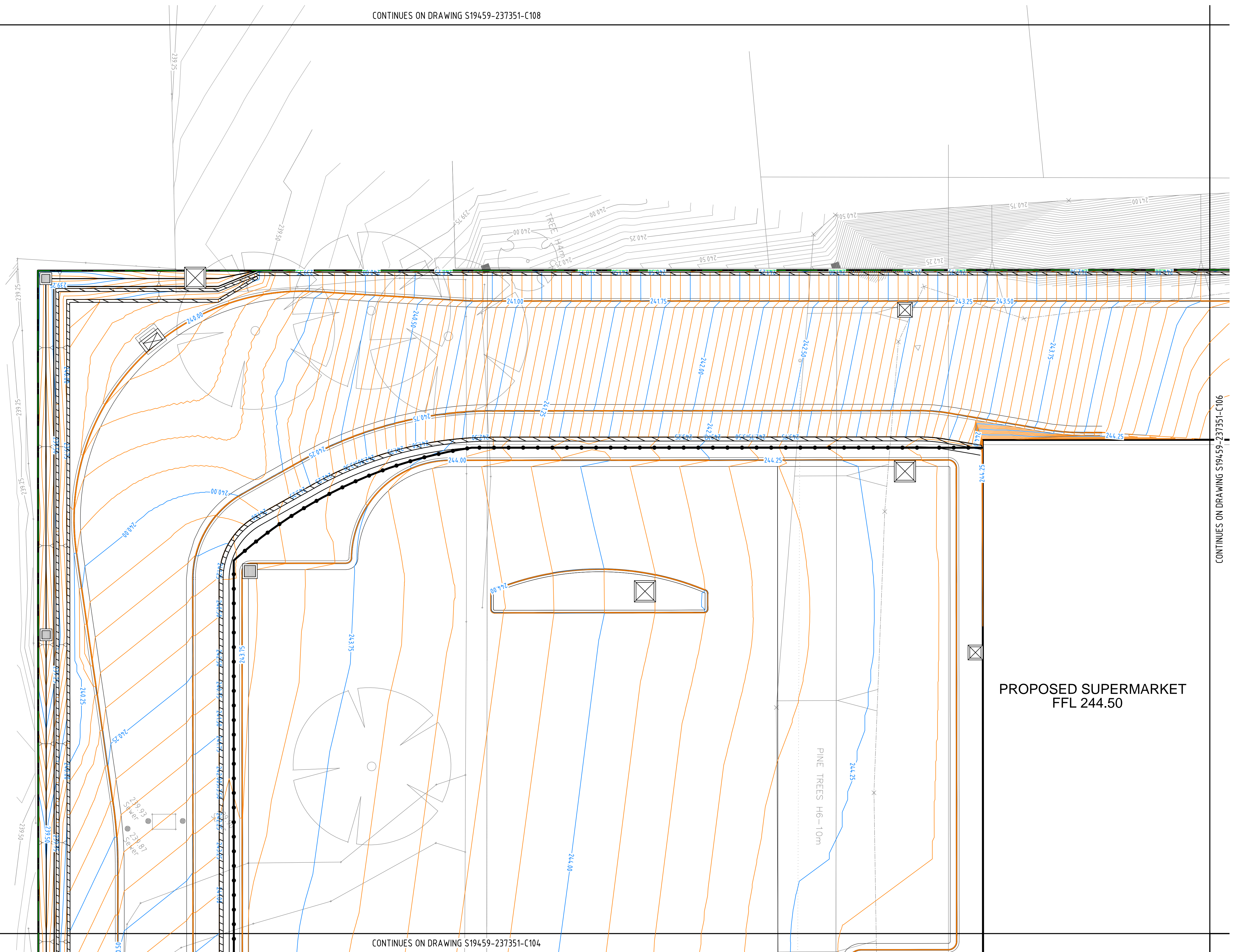
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CLIENT AHRENS PTY LTD	DESIGNED JDN	DRAWN JDN
PROJECT TITLE PROPOSED KAPUNDA SUPERMARKET	CHECKED	NO. OF SHEETS
SITE ADDRESS CNR CARRINGTON STREET AND MAIN STREET KAPUNDA, SA 5373	SCALE 1:100 @ A1	DATE STARTED 10.06.2016
DRAWING TITLE FINAL SURFACE CONTOUR PLAN - SHEET 1 OF 4	SITE ID & JOB No. S19459-237351	REV. F
	DRAWING No. C112	

243.00	MAJOR DESIGN CONTOUR (0.25m)
	MINOR DESIGN CONTOUR (0.05m)
245.75	MAJOR EXISTING CONTOUR (0.25m)
	MINOR EXISTING CONTOUR (0.05m)



CONTINUES ON DRAWING S19459-Z3 / 351-C106

PROPOSED SUPERMARKET
FFL 244.50

CONTINUES ON DRAWING S19459-237351-C104

F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ
REV	DESCRIPTION	DATE	INIT	APP

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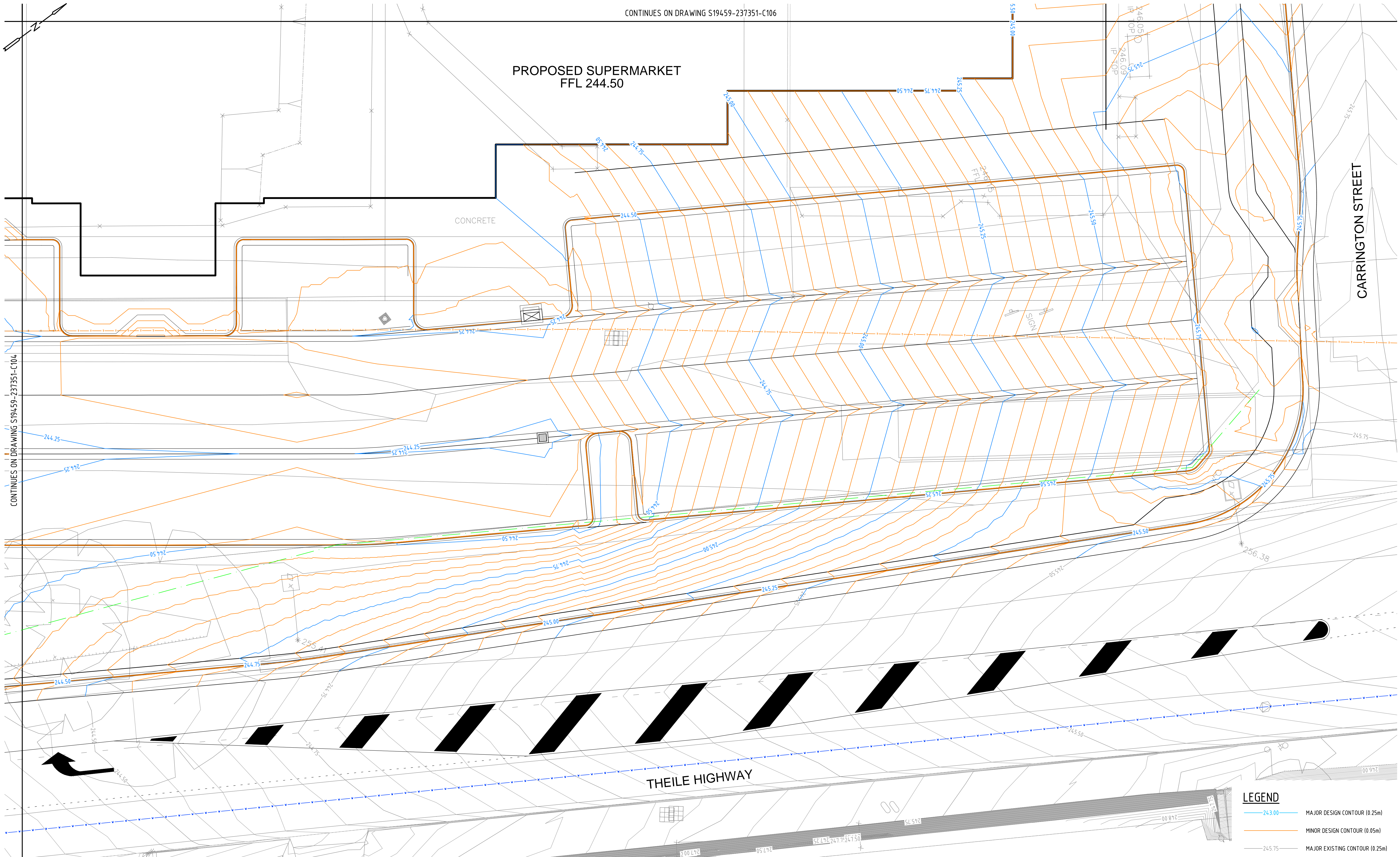


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CLIENT	AHRENS PTY LTD
PROJECT TITLE	PROPOSED KAPUNDA SUPERMARKET
SITE ADDRESS	CNR CARRINGTON STREET AND MAIN STREET KAPUNDA, SA 5373
DRAWING TITLE	FINAL SURFACE CONTOUR PLAN - SHEET 2 OF 4

DESIGNED	JDN	DRAWN	JDN
CHECKED		No. OF SHEETS	
SCALE	1:100 @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No.			REV.
S19459-237351			
DRAWING No.			
C113			F

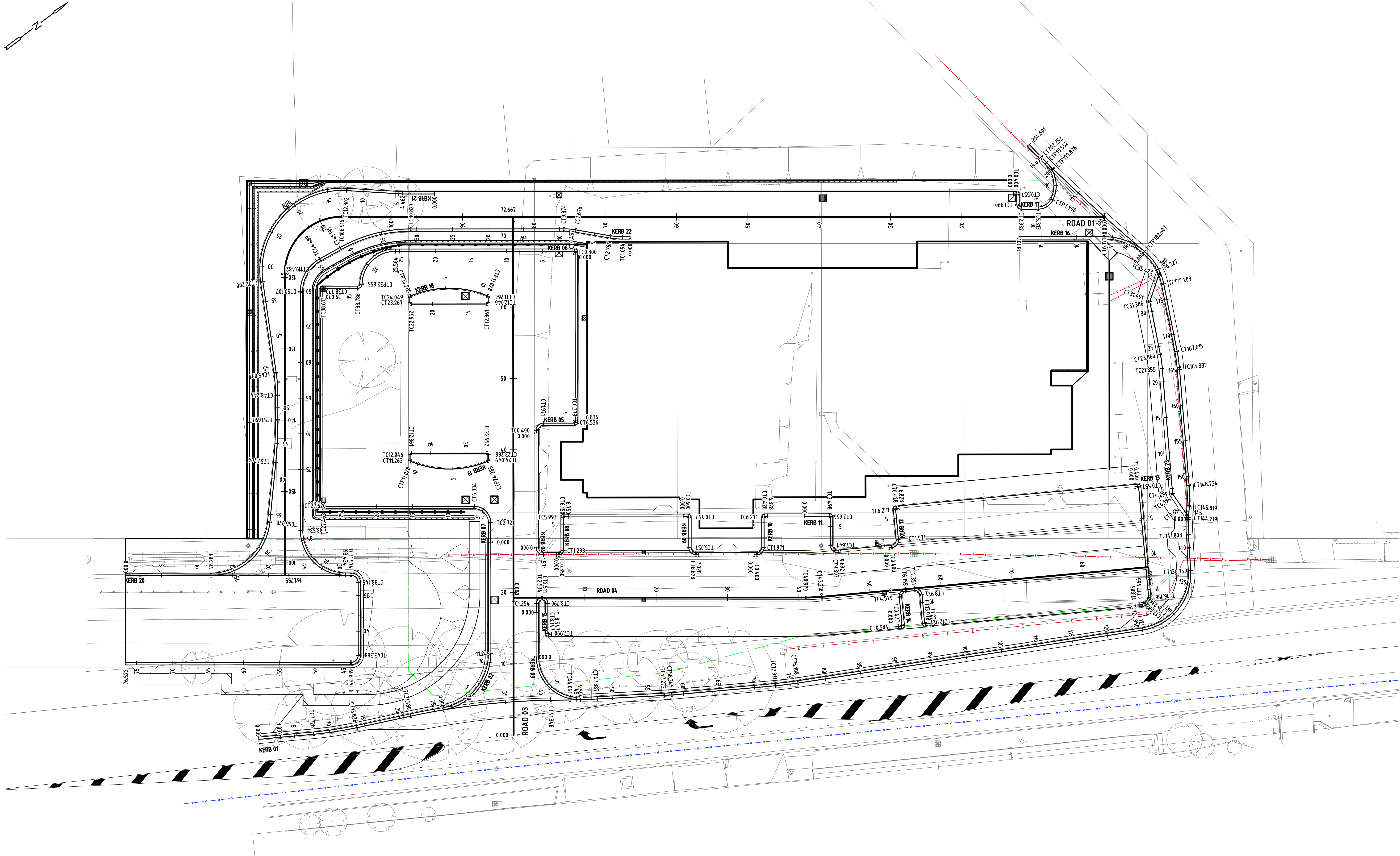
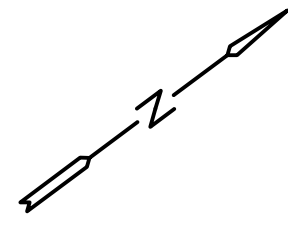
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REV	DESCRIPTION	DATE	INT	APP
F	ISSUED FOR PLANNING APPROVAL	11.07.2017	JDN	JZ
E	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ
D	ISSUED FOR CLIENT COMMENT	02.06.2017	JDN	JZ
C	ISSUED FOR TENDER	24.11.2016	JDN	JZ
B	ISSUED FOR TENDER	01.11.2016	JDN	JZ
A	ISSUED FOR CLIENT COMMENT	12.10.2016	JDN	JZ

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REV	DESCRIPTION	DATE	INT	APP
A	ISSUED FOR PLANNING APPROVAL	30.06.2017	JDN	JZ

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SCALE 0 2 4 6 8 10 METRES

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CLIENT
AHRENS PTY LTD
PROJECT TITLE
PROPOSED KAPUNDA SUPERMARKET
SITE ADDRESS
CNR CARRINTON STREET AND MAIN STREET
KAPUNDA, SA 5373
DRAWING TITLE
SETOUT PLAN

DESIGNED	JDN	DRAWN	JDN
CHECKED		NO. OF SHEETS	
SCALE	AS SHOWN @ A1	DATE STARTED	10.06.2016
SITE ID & JOB No	S19459-237351	REV.	
DRAWING No	C181		A