

APPLICATION ON NOTIFICATION – CATEGORY 3

Applicant:	South Australian Housing Trust C/- Renewal SA
Development Number:	DA 100/L032/17
Nature of Development:	Temporary change of land use to display village and construction of an open lot car park
Type of development:	Merit
Zone / Policy Area:	Residential Zone / Regeneration Policy Area 16
Subject Land:	64 & 66 Nilpena Avenue and 30, 32, 33, 35, 37, 38, 39, 40, 41, 42, 43 & 45 Hendrie Street MORPHETTVILLE
Contact Officer:	Matthew Fielke
Phone Number:	7109 7048
Start Date:	23 October 2017
Close Date:	3 November 2017
<p>During the notification period, hard copies of the application documentation can be viewed at the Department of Planning, Transport and Infrastructure, Level 5, 50 Flinders St, Adelaide, during normal business hours. Application documentation may also be viewed during normal business hours at the local Council office (if identified on the public notice).</p>	

Written representations must be received by the close date (indicated above) and can either be posted, hand-delivered or emailed to the State Commission Assessment Panel.

Any representations received after the close date will not be considered.

Postal Address:

The Secretary
State Commission Assessment Panel
GPO Box 1815
ADELAIDE SA 5001

Street Address:

Development Division
Department of Planning, Transport and Infrastructure
Level 5, 50 Flinders St
ADELAIDE SA 5000

Email Address: scapadmin@sa.gov.au

**South Australian
DEVELOPMENT ACT, 1993
REPRESENTATION ON APPLICATION – CATEGORY 3**

Applicant:	South Australian Housing Trust C/- Renewal SA
Development Number:	DA 100/L032/17
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Zone / Policy Area:	Residential Zone / Regeneration Policy Area 16
Subject Land:	64 & 66 Nilpena Avenue and 30, 32, 33, 35, 37, 38, 39, 40, 41, 42, 43 & 45 Hendrie Street MORPHETTVILLE
Contact Officer:	Matthew Fielke
Phone Number:	7109 7048
Close Date:	Friday 3 November 2017

My name: _____

My phone number: _____

PRIMARY METHOD(S) OF CONTACT: Email address: _____

Postal address: _____

_____ Postcode _____

You will be contacted via your nominated PRIMARY METHOD(S) OF CONTACT if you indicate below that you wish to be heard in support of your submission.

- My interests are:
- ☐ owner of local property
 - ☐ occupier of local property
 - ☐ a representative of a company/other organisation affected by the proposal
 - ☐ a private citizen

The address of the property affected is _____ Postcode _____

The specific aspects of the application to which I make comment on are:

- I
- ☐ wish to be heard in support of my submission
 - ☐ do not wish to be heard in support of my submission
- (Please tick one)

- By
- ☐ appearing personally
 - ☐ being represented by the following person:
- (Please tick one)

Date _____ Signature _____

Return Address: The Secretary, State Commission Assessment Panel, GPO Box 1815, Adelaide SA 5001 or scapadmin@sa.gov.au.



DEVELOPMENT ACT 1993

CATEGORY 3 PUBLIC NOTICE

NOTICE OF APPLICATION FOR CONSENT TO DEVELOPMENT

Notice is hereby given that an application has been made by the **South Australian Housing Trust (c/- Renewal SA)** for consent to undertake a temporary change of use to display village and the construction of an open lot car park.
Development Number: 100/L032/17.

The subject land is situated at 64 & 66 Nilpena Avenue and 30, 32, 33, 35, 37-43 & 45 Hendrie Street, Morphettville being: Allotments 297, 302 & 303 in DP 4731 (CT 5092/840); Allotment 323 in DP 4731 (CT 5093/2); Allotments 325-329 in DP 4731 (CT 5069/160); Allotments 330 & 331 in DP 4731 (CT 5560/796); Allotment 12 in FP 30928 (CT 5069/134 & 5069/135); Allotment 13 in DP 30928 (CT 5069/136); and, Allotment 102 in DP 16035 (CT 5441/111).

The development site is located within the Residential Zone (Regeneration Policy Area 16) of the Marion Council Development Plan (Consolidated 28 April 2016).

The application may be examined during normal office hours at the office of the State Commission Assessment Panel (SCAP), Level 5, 50 Flinders Street and at the office of the Marion (City) Council. Application documentation may also be viewed on the SCAP website http://www.saplanningcommission.sa.gov.au/scap/public_notices.

Any person or body who desires to do so may make representations concerning the application by notice in writing delivered to the Secretary, State Commission Assessment Panel, GPO Box 1815, Adelaide SA 5001 **NOT LATER THAN FRIDAY 3RD NOVEMBER**. Submissions may also be emailed to scapadmin@sa.gov.au

Each person or body making a representation should state the reason for the representation and whether that person or body wishes to be given the opportunity to appear before the SCAP to further explain the representation.

Submissions may be made available for public inspection.

Should you wish to discuss the application and the public notification procedure please contact Matthew Fielke on 7109 7048 or matthew.fielke@sa.gov.au

Alison Gill

SECRETARY

STATE COMMISSION ASSESSMENT PANEL

www.saplanningcommission.sa.gov.au/scap

DEVELOPMENT APPLICATION FORM

PLEASE USE BLOCK LETTERS

COUNCIL: Marion

APPLICANT: Renewal SA, On behalf of SAHT

Postal Address: L9 Riverside Centre

North Terrace Adelaide SA 5000

Owner: SA Housing Trust (SAHT)

Postal Address: L9 Riverside Centre

North Terrace Adelaide SA 5000

BUILDER: TBA

Postal Address: TBA

License No: _____

CONTACT PERSON FOR FURTHER INFORMATION

Name: Patrick Mitchell

Telephone: 8207 0793 [work] 0420 472 293 [Ah]

Fax: _____ [work] _____ [Ah]

EXISTING USE: Residential - Vacant

FOR OFFICE USE

Development No: _____

Previous Development No: _____

Assessment No: _____

- ☐ Complying
☐ Non Complying
☐ Notification Cat 2
☐ Notification Cat 3
☐ Referrals/Concurrences
☐ DA Commission

Application forwarded to DA

Commission/Council on

/ /

Decision: _____

Type: _____

Date: / /

	Decision required	Fees	Receipt No	Date
Planning:	_____	_____	_____	_____
Building:	_____	_____	_____	_____
Land Division:	_____	_____	_____	_____
Additional:	_____	_____	_____	_____
Development Approval				

DESCRIPTION OF PROPOSED DEVELOPMENT: BUILDERS DISPLAY VILLAGE & ASSOCIATED CAR PARK

LOCATION OF PROPOSED DEVELOPMENT: Lots 323, 102, 325, 326 327, 328, 329, 330, 331, 303, 302, 12, 13, 297

House No: Various Lot No Various Street: HENDRIE ST / NILPENA AV Town/Suburb: MORPHETTVILLE

Section No [full/part] _____ Hundred: ADELAIDE Volume: Various Folio: Various

Section No [full/part] _____ Hundred: _____ Volume: _____ Folio: _____

LAND DIVISION: Not Applicable

Site Area [m²] _____ Reserve Area [m²] _____ No of existing allotments _____

Number of additional allotments [excluding road and reserve]: _____ Lease: YES ☐ NO ☐

BUILDING RULES CLASSIFICATION SOUGHT: Not Applicable Present classification: Not Applicable

If Class 5,6,7,8 or 9 classification is sought, state the proposed number of employees: Male: _____ Female: _____

If Class 9a classification is sought, state the number of persons for whom accommodation is provided: _____

If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises: _____

DOES EITHER SCHEDULE 21 OR 22 OF THE DEVELOPMENT REGULATIONS 2008 APPLY? YES ☐ NO ☒

HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 2008 LEVY BEEN PAID? YES ☐ NO ☒

DEVELOPMENT COST [do not include any fit-out costs]: \$ 50,000

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Regulations 2008.

SIGNATURE: _____

Dated: 12/07/2017

12 July 2017



RenewalSA
people partnerships progress

Development Officer - Planning
City of Marion
PO Box 21
Oaklands Park SA 5046

Urban Renewal Authority
trading as Renewal SA
Level 9 (West) Riverside Centre
North Terrace, Adelaide SA 5000
GPO Box 698, Adelaide SA 5001
DX: 56502 ABN: 86 832 349 553

T 08 8207 1300
F 08 8207 1301
E renewalsa.info@sa.gov.au
W www.renewalsa.sa.gov.au

Dear Assessing Officer,



**DEVELOPMENT APPLICATION
BUILDERS DISPLAY VILLAGE & ASSOCIATED CAR PARK
LOTS 323, 102, 325, 326 327, 328, 329, 330, 331, 303, 302, 12, 13, 297
NILPENA AVENUE & HENDRIE STREET, MORPHETTVILLE**

**(PROPOSED LOTS 69 - 71 & 209 - 221 IN LAND DIVISION DAC DA NO. 100/D022/17
AND LOT 12, 13, 297 SUBJECT TO FUTURE APPLICATION)**

Please find enclosed the necessary documents (3 x copies) forming a development application that seeks Development Plan consent to facilitate a builders display village with associated car parking on land situated in the City of Marion local government area. The application seeks consent for the land use only and not for any proposed future building works. Future building works (dwellings) will be made by the respective builders once design approval has been issued by Renewal SA and Development Approval issued by the City of Marion.

Please be advised that Renewal SA, on behalf of the South Australian Housing Trust (SAHT) will be undertaking the development. While the application has been lodged with the Council (in accordance with regulation 15(1)(a) of the *Development Regulations 2008* (the Regulations)), the Development Assessment Commission (the Commission) is the relevant planning authority in accordance with Section 34(1)(b)(i) of the *Development Act 1993* (the Act) and Schedule 10 of the Regulations. It would be appreciated if the application could be forwarded to the Commission with Council's comments within the time prescribed by the Regulations.

The proposed builders display village is over multiple contiguous sites that are subject to an existing plan of division that has been granted a development plan exemption from the State Coordinator General. The proposed car park is situated directly adjacent the display village on Hendrie Avenue (on existing allotments 12, 13 & portion of allotment 297).

It would be appreciated if the City of Marion could invoice any development assessment fees to Renewal SA, marked Attention to:

**Simon Smith,
Program Manager, Project Delivery
Renewal SA, Level 9 Riverside Centre,
North Terrace, Adelaide SA 5000**

The following provides some information regarding the project



**Government of
South Australia**

Background

The South Australian Government is committed to improving the quality of housing for South Australian Housing Trust tenants and has tasked Renewal SA to fast-track the renewal of ageing Housing Trust properties.

Renewal SA's Renewing Our Streets and Suburbs initiative will renew 4,500 Housing Trust properties in the metropolitan area within 10 kilometres of the City by 2020.

The Morphetville Neighbourhood Renewal Project will deliver on key State Government priorities including accelerating the renewal of social housing stock and increasing the supply and diversity of new housing opportunities that will foster diverse, sustainable and inclusive communities.

The Morphetville Urban Renewal project is a master planned urban and community development within the City of Marion involving renewal of an existing neighbourhood. It is being developed using 'traditional neighbourhood design principles', supporting the wider project objectives of sustainability, enhancing social interaction and returning a sense of community to residential areas.

Renewal SA will be working in partnership with the City of Marion delivering a variety of housing types with the objectives of:

- Providing greater housing choice;
- Creating a broad price range for housing, incorporating both traditional detached housing and a range of other new and innovative housing products;
- Delivering built form that will achieve consistent urban design within the project area; &
- Redesigning the streetscape, and rebalancing the mix of public and private ownership.

Renewal SA is seeking to establish an area of the Morphetville project as a display village, which will provide an opportunity for Building companies to demonstrate their latest housing product. The aim is to have a focused area of high quality display homes from several builders that will drive consumer interest in the project area to view display housing and potentially create sales for both the project and participating builders. A plan of division is enclosed in Attachment #1.

Sale of Land

An Expression of Interest (EOI) will be released as part of the Morphetville Urban Renewal Project seeking proponents to purchase land and build a display village to present their product.

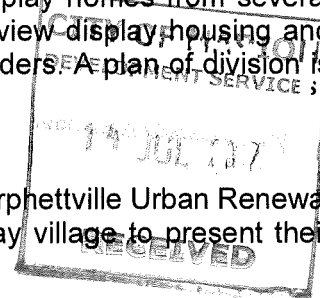
Location

The Display Village area is situated at the corner of Nilpena Ave and Hendrie Street Morphetville. Opposite the display village, Renewal SA will provide a temporary car park.

Period of operation

The successful proponents will construct display homes on land purchased from Renewal SA, which will be managed for a period of 3 years (36 months taken from construction completion and the initial opening of the display home).

It is proposed that the display home will be open for a maximum of 4 days per week, including weekends, typically between the hours of 1-5pm, but this may vary depending upon the demand and interest.



Land Parcels

There are 6 land parcels on offer, refer to Attachment #2 (Display Village land allotment map) which identifies the location of the proposed display village. The table below identifies the likely parcel configuration that will be allocated to builders:

Table 1: Display Village land parcels

Parcel	Lot	Street	Land Area (m ²)
A	Lot 209	Hendrie Street	240
A	Lot 210	Hendrie Street	240
B	Lot 212	Hendrie Street	457
B	Lot 213	Hendrie Street	525
C	Lot 214	Hendrie Street	344
C	Lot 215	Hendrie Street	413
D	Lot 216	Nilpena Avenue	509
D	Lot 218	Nilpena Avenue	471
D	Lot 219	Nilpena Avenue	354
E	Lot 509	Nilpena Avenue	478
E	Lot 471	Nilpena Avenue	381
F	Lot 69	Nilpena Avenue	352
F	Lot 70	Nilpena Avenue	343
F	Lot 71	Nilpena Avenue	407

Encumbrances / Building Envelope

All new allotments created within the Morphettville Urban Renewal Project are subjected to a land encumbrance which includes the following:

- the Morphettville Residential Design Guidelines refer to Attachment #3; &
- the Building Envelope Plan, refer to Attachment #4.

It is expected that the design of the Display Homes will comply with the Design Guidelines and Building envelope plan.

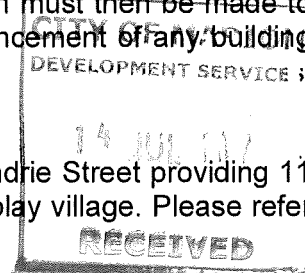
Proposed concept/development plans for each display home will be reviewed by and approved by Renewal SA, who also will consider ensuring conformity of front landscaping and fences to the street for the whole Display Village. Application must then be made to the City of Marion for Development Approval prior to the commencement of any building work.

Car Parking

A car park will be constructed opposite the display homes on Hendrie Street providing 11 spaces. The car park will be temporary for the duration of the display village. Please refer to Attachment #5 detailing the proposed car park design.

Existing Certificates of Title (CT's)

Detailed below are the current CT's which relate to the location of the proposed new allotments. The relevant CT's accompany the application documents.



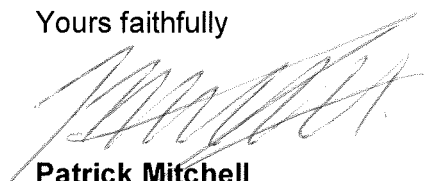
Proposed Lot Address	Suburb	Area m ²	Current C/T	Current Lot No.
Lot 69 Nilpena Ave	Morphettville	352	CT 5092/840	PA302 & PA303
Lot 70 Nilpena Ave	Morphettville	343	CT 5092/840	PA302 & PA303
Lot 71 Nilpena Ave	Morphettville	407	CT 5092/840	PA302 & PA303
Lot 209 Hendrie St	Morphettville	240	CT5569/796	PA330, PA331
Lot 210 Hendrie St	Morphettville	240	CT5069/160 & 5560/796	PA329 & PA330
Lot 212 Hendrie St	Morphettville	457	CT5069/160	PA328 & PA329
Lot 213 Hendrie St	Morphettville	525	CT5069/160	PA327 & PA328
Lot 214 Hendrie St	Morphettville	344	CT5069/160	PA326 & PA327
Lot 215 Hendrie St	Morphettville	413	CT5069/160	PA325 & PA326
Lot 216 Hendrie St	Morphettville	509	CT5069/160	PA325 & PA326
Lot 218 Nilpena Ave	Morphettville	471	CT5441/111	PA102
Lot 219 Nilpena Ave	Morphettville	354	CT5441/111	PA102
Lot 220 Nilpena Ave	Morphettville	478	CT5441/111 & 5093/2	PA102 & PA323
Lot 221 Nilpena Ave	Morphettville	381	CT5093/2	PA323

Signage

Directional signage and advertising bunting will be provided at strategic locations of the display village. This will be used to promote the display houses and provide directional signage to the temporary car park. Attachment #6 details the proposed signage and specific directional signage and bunting will be assessed in conjunction with the builders.

Thank you for consideration of this application and please contact Simon Smith (8207 0481 / 0457 724 173) should you require any further information or clarification regarding the nature of the application.

Yours faithfully



Patrick Mitchell
Senior Program Manager

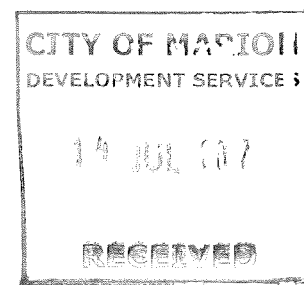
Project Delivery

P: 08 8207 0793

F: 08 8207 1301

patrick.mitchell@sa.gov.au

www.renewalsa.sa.gov.au



DEVELOPMENT REGULATIONS 2008
Form of Declaration
(Schedule 5 clause 2A)

To: **Development Assessment Commission**

From: **Renewal SA**

Date of Application: **12/07/2017**

Location of Proposed Development:

House No's: **V a r i o u s**

Lot Nos: **Lots 323, 102, 325, 326 327, 328, 329, 330, 331, 303, 302, 12, 13, 297**

Streets: **Nilpena Avenue & Hendrie Street** Town/Suburb: **Morphettville**

Section No (full/part):Hundred: **Adelaide**

Volume: **5441** Folio: **111** Volume: **5093** Folio: **2** Volume: **5069** Folio: **160**

Volume: **5560** Folio: **796** Volume: **5092** Folio: **840** Volume: **5069** Folio: **135**

Volume: **5069** Folio: **136**

Nature of Proposed Development:

BUILDERS DISPLAY VILLAGE & ASSOCIATED CAR PARK

I **Patrick Mitchell** a person acting on behalf of the applicant for the development described above declare that the proposed development will involve the construction of a building which would, if constructed in accordance with the plans submitted, not be contrary to the regulations prescribed for the purposes of section 86 of the *Electricity Act 1996*. I make this declaration under clause 2A(1) of Schedule 5 of the *Development Regulations 2008*.

Date: **12/07/2017**

Signed:



Note 1

This declaration is only relevant to those development applications seeking authorisation for a form of development that involves the construction of a building (there is a definition of 'building' contained in section 4(1) of the *Development Act 1993*), other than where the development is limited to –

- a) an internal alteration of a building; or
- b) an alteration to the walls of a building but not so as to alter the shape of the building.



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Registrar-General

Certificate of Title - Volume 5441 Folio 111

Parent Title(s) CT 4311/921
Dealing(s) CONVERTED TITLE
Creating Title
Title Issued 08/08/1997
Edition 1
Edition Issued 08/08/1997

REAL PROPERTY ACT, 1886



South Australia

Estate Type

FEE SIMPLE

Registered Proprietor

SOUTH AUSTRALIAN HOUSING TRUST
OF ADELAIDE SA 5000

Description of Land

ALLOTMENT 102 DEPOSITED PLAN 16035
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

Easements

SUBJECT TO PARTY WALL RIGHT(S) OVER THE LAND MARKED B (T 6432847)
TOGETHER WITH PARTY WALL RIGHT(S) OVER THE LAND MARKED A (T 6432847)

Schedule of Dealings

NIL

Notations

Dealings Affecting Title

NIL

Priority Notices

NIL

Notations on Plan





NIL

Registrar-General's Notes

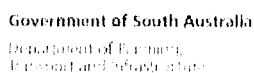
CONVERTED TITLE WITH NEXT DEALING LODGE CT 4311/921

Administrative Interests

NIL

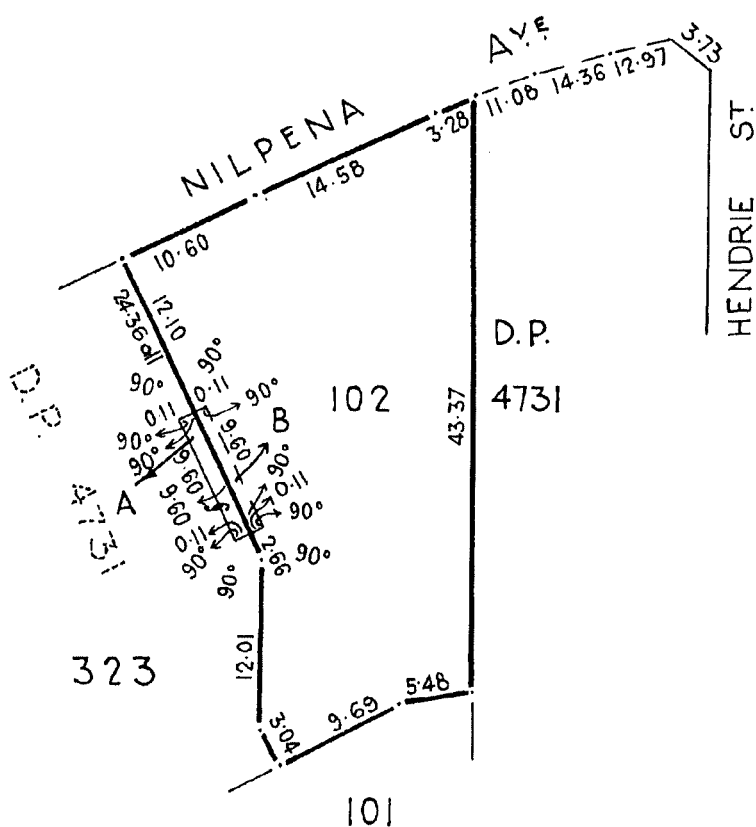
* Denotes the dealing has been re-lodged.





Product
Date/Time

Register Search
14/04/2016 09:37AM



0 5 10 15 20 Metres

CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5093 FOLIO 2

Edition 4

Date Of Issue 14/10/1992

Authority CONVERTED TITLE

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.

B P

ACTING REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE

SOUTH AUSTRALIAN HOUSING TRUST OF ADELAIDE SA 5000

DESCRIPTION OF LAND

ALLOTMENT 323 DEPOSITED PLAN 4731
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

EASEMENTS

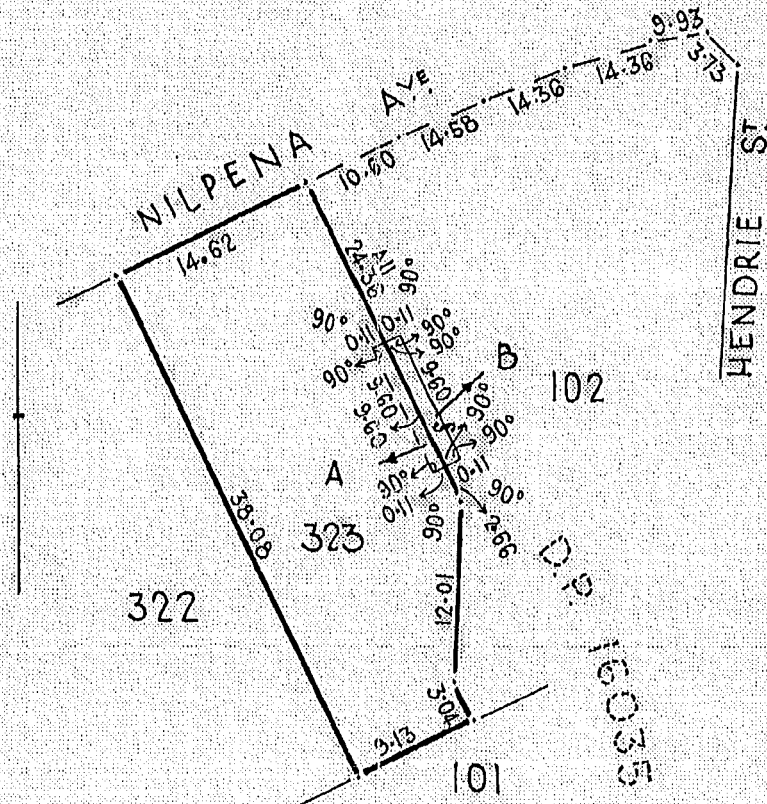
SUBJECT TO PARTY WALL RIGHTS OVER THE LAND MARKED A (T 6432847)

TOGETHER WITH PARTY WALL RIGHTS OVER THE LAND MARKED B (T 6432847)

SCHEDULE OF ENDORSEMENTS

NIL





0 5 10 15 20 Metres



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5069 FOLIO 160

Edition 1

Date Of Issue 16/04/1992

Authority T 7227123

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.


REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE

SOUTH AUSTRALIAN HOUSING TRUST OF ADELAIDE SA 5000

DESCRIPTION OF LAND

ALLOTMENTS 325. 326. 327. 328 AND 329 DEPOSITED PLAN 4731
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

NIL





The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Registrar-General

Certificate of Title - Volume 5560 Folio 796

Parent Title(s) CT 5069/161
Dealing(s) T 8464744
Creating Title
Title Issued 04/08/1998
Edition 1
Edition Issued 04/08/1998

REAL PROPERTY ACT, 1886



Estate Type

FEE SIMPLE

Registered Proprietor

SOUTH AUSTRALIAN HOUSING TRUST
OF ADELAIDE SA 5000

Description of Land

ALLOTMENTS 330, 331 AND 332 DEPOSITED PLAN 4731
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

Easements

NIL

Schedule of Dealings

NIL

Notations

Dealings Affecting Title

NIL

Priority Notices

NIL

Notations on Plan

NIL





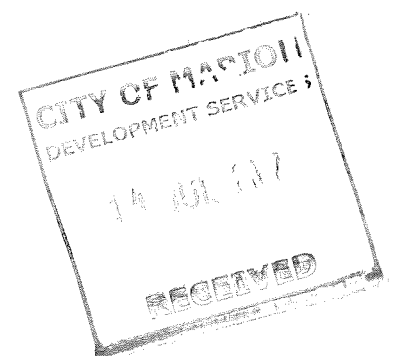
Registrar-General's Notes

NIL

Administrative Interests

NIL

* Denotes the dealing has been re-lodged.



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5092 FOLIO 840

Edition 1

Date Of Issue 14/10/1992

Authority RT 7336546

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.

REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE

SOUTH AUSTRALIAN HOUSING TRUST OF ADELAIDE SA 5000

DESCRIPTION OF LAND

ALLOTMENTS 296, 297, 302 AND 303 DEPOSITED PLAN 4731
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

NIL



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5069 FOLIO 135

Edition 1

Date Of Issue 16/04/1992

Authority T 7227123

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.


REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE FOR LESS THAN ENTIRETY

SOUTH AUSTRALIAN HOUSING TRUST OF 1 UNDIVIDED 2ND PART OF ADELAIDE SA 5000

DESCRIPTION OF LAND

ALLOTMENT 12 FILED PLAN 30928
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

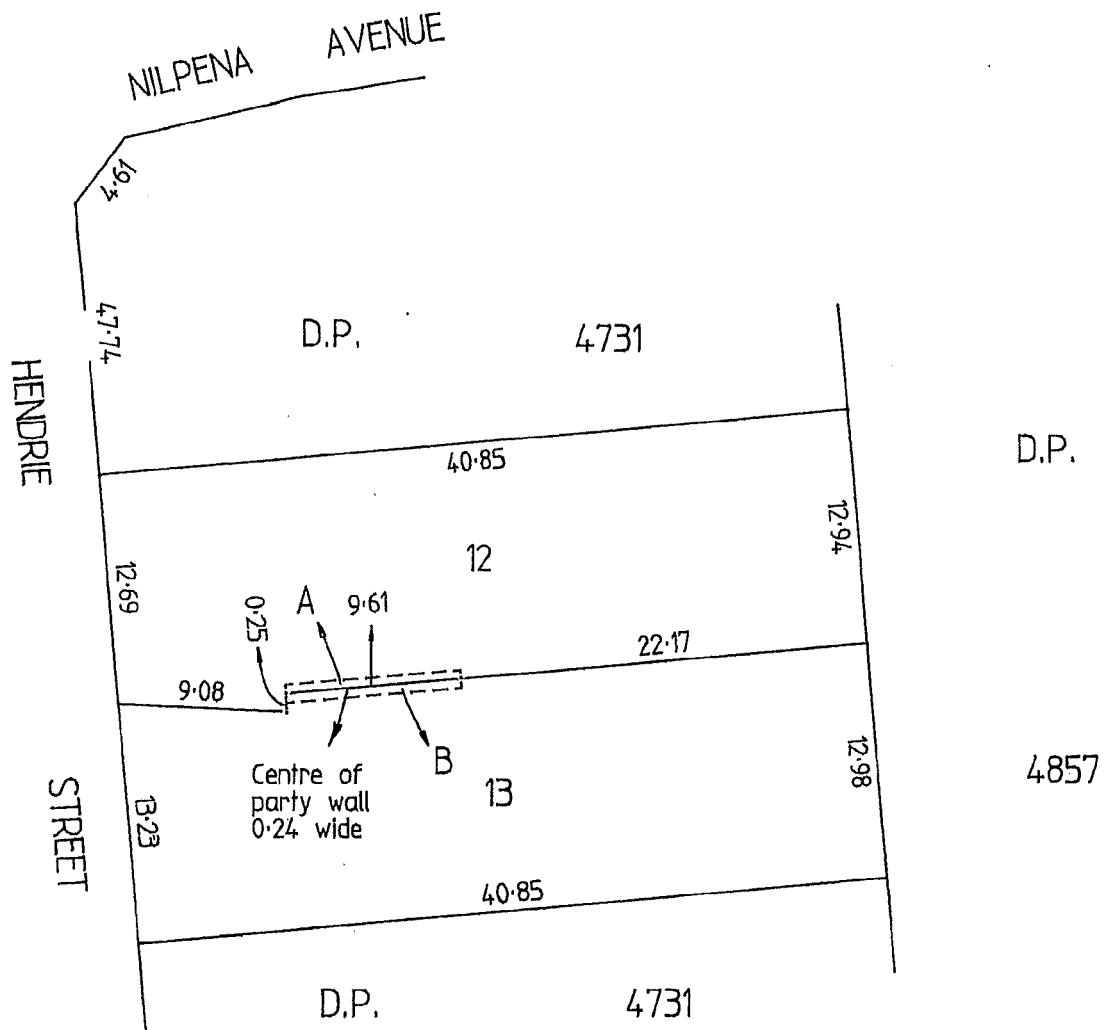
EASEMENTS

SUBJECT TO PARTY WALL RIGHTS OVER THE LAND MARKED A (T 7227123)
TOGETHER WITH PARTY WALL RIGHTS OVER THE LAND MARKED B (T 7227123)

SCHEDULE OF ENDORSEMENTS

NIL





0 4 8 12 16 Metres



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5069 FOLIO 136

Edition 1

Date Of Issue 16/04/1992

Authority T 7227123

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.


REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE

SOUTH AUSTRALIAN HOUSING TRUST OF ADELAIDE SA 5000

DESCRIPTION OF LAND

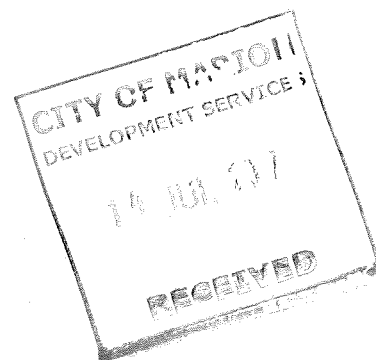
ALLOTMENT 13 FILED PLAN 30928
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

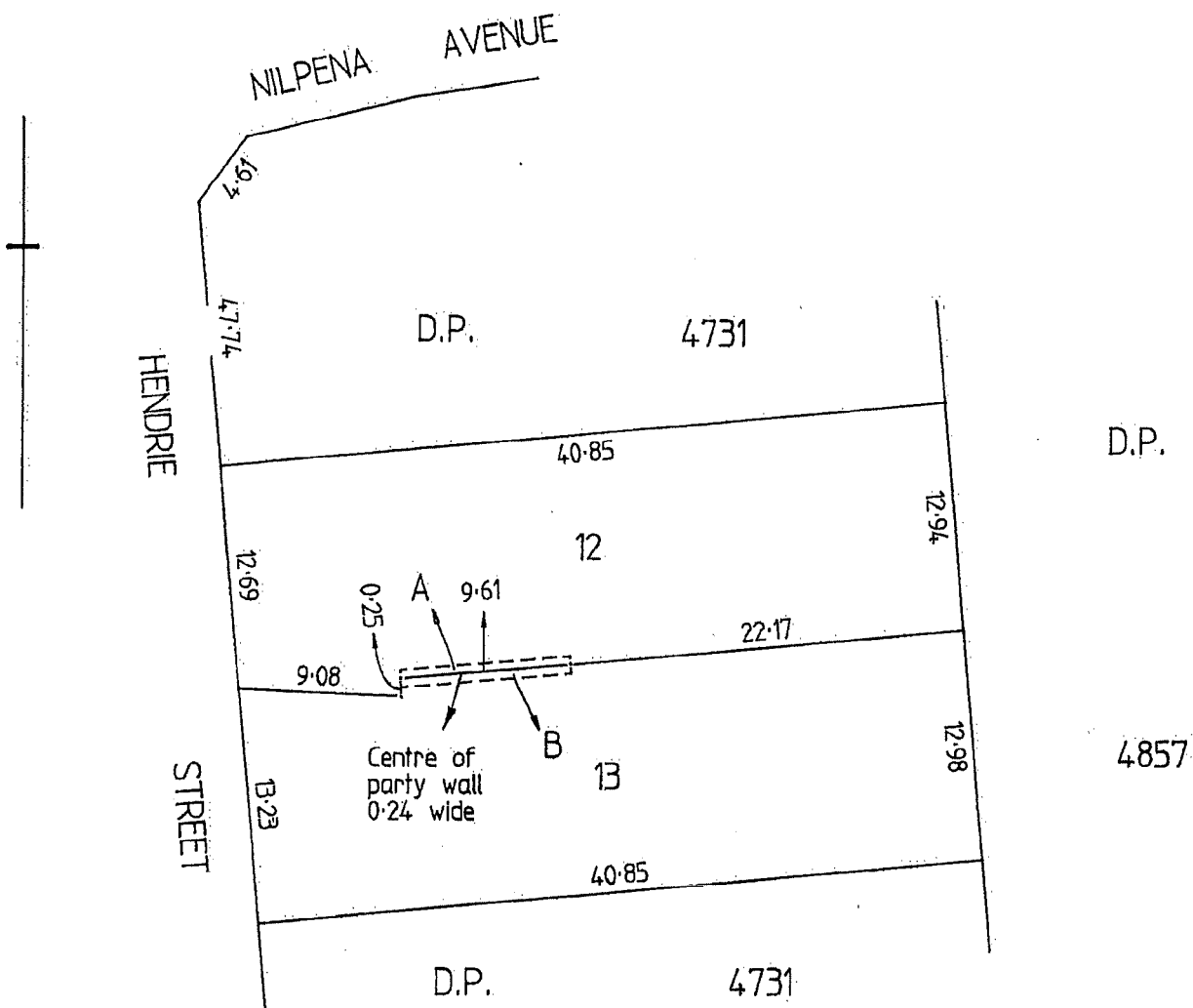
EASEMENTS

SUBJECT TO PARTY WALL RIGHTS OVER THE LAND MARKED B (T 7227123)
TOGETHER WITH PARTY WALL RIGHTS OVER THE LAND MARKED A (T 7227123)

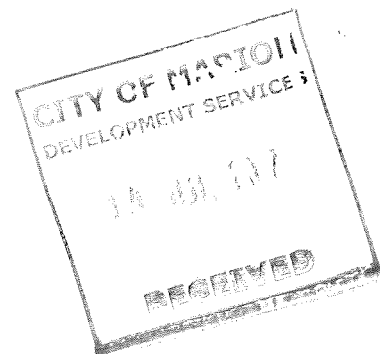
SCHEDULE OF ENDORSEMENTS

NIL





0 4 8 12 16 Metres



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1886



South Australia

VOLUME 5092 FOLIO 840

Edition 1

Date Of Issue 14/10/1992

Authority RT 7336546

I certify that the registered proprietor is the proprietor of an estate in fee simple (or such other estate or interest as is set forth) in the land within described subject to such encumbrances, liens or other interests set forth in the schedule of endorsements.

REGISTRAR-GENERAL



REGISTERED PROPRIETOR IN FEE SIMPLE

SOUTH AUSTRALIAN HOUSING TRUST OF ADELAIDE SA 5000

DESCRIPTION OF LAND

ALLOTMENTS 296, 297, 302 AND 303 DEPOSITED PLAN 4731
IN THE AREA NAMED MORPHETTVILLE
HUNDRED OF ADELAIDE

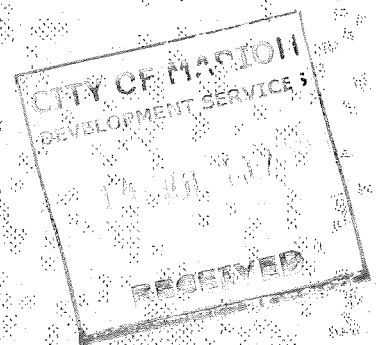
EASEMENTS

NIL

SCHEDULE OF ENDORSEMENTS

NIL

WARNING: BEFORE DEALING WITH THIS LAND, SEARCH THE CURRENT CERTIFICATE



Attachment #1

Plan of Division



Development No. 100 / D022 / 17
City of Marion
Lodged 31.01.2017

Proposed Plan of Division
Allotments 180 to 187, 194 to 201,
216 to 224, 317, 302, 303, 311, 312, 323, 325
to 331, 349, & 350
in DP 4731
Allotment 5 in FP 40559
Lots 10 & 11 in CP 21205
Allotments 1 & 2 in DP 27032
Allotments 13 to 15 in FP 38740
Allotments 204 to 206 in DP 4731
Allotments 1 & 2 in DP 26305
Allotment 101 in DP 16035
Allotment 32 in DP 89685
Allotment 3 in DP 24986
Hundred of Adelaide
In the area named
Morphettville

CT 5069/138	CT 609/1578	CT 5438/959
CT 5069/142	CT 5069/141	CT 5479/385
CT 5395/747	CT 5395/855	CT 5479/384
CT 5479/383	CT 5395/856	CT 528/1214
CT 5876/14	CT 5876/13	CT 5862/348
CT 5225/322	CT 5225/321	CT 6096/241
CT 5093/2	CT 5092/840	CT 5069/160
CT 5862/349	CT 5876/12	CT 5069/144
CT 5560/796	CT 6096/234	CT 5452/397
	CT 5441/1111	

0 5 10 20 30 40 50 m
1:500 @ A1

AMENDED PLAN
15.03.2017



Existing buildings to be demolished.

No. of proposed allotments	89
Balance allotments	5
No. of existing allotments	57
Total area	3.257ha
Length of new road	175m

The land is generally flat
Road pavements shown are indicative only.
Not to be used for detailed engineering design.
Dimensions and areas are subject to survey.

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Glenn Ian Hordacre	
LICENSED SURVEYOR	
REF: A146015	SAHT Order 3516
DWG NO.: A146015PROP1(0)	PROJECT No. 71610100
REVISION: H	HENDRIE STREET
DEL 15.03.2017	MORPHETTVILLE

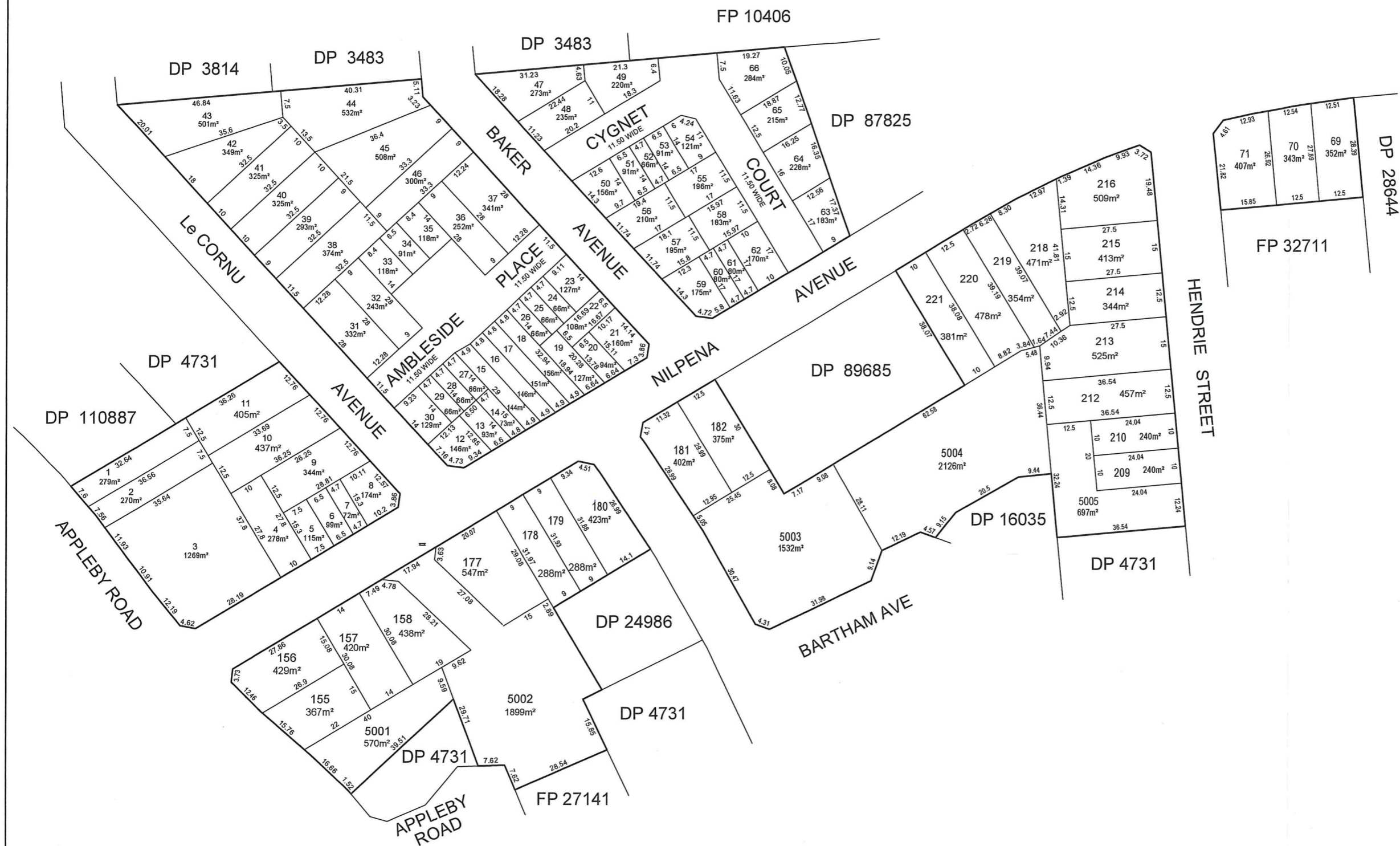
Alexander & Symonds Pty Ltd
11 King William Street Kent Town,
South Australia 5067
PO Box 1000 Kent Town, SA 5071
DX 209 ABLN 93007 753 988

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+ Spatial Information Management +



**Alexander
Symonds**
Surveying
Consultants



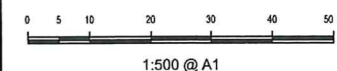
Attachment #2

Display Village Land Allotment Map



Proposed Plan of Division
Allotments 180 to 187, 194 to 201,
216 to 224, 317, 302, 303, 311, 312, 323, 325
to 331, 349, & 350
in DP 4731
Allotment 5 in FP 40559
Lots 10 & 11 in CP 21205
Allotments 1 & 2 in DP 27032
Allotments 13 to 15 in FP 38740
Allotments 204 to 206 in DP 4731
Allotments 1 & 2 in DP 26305
Allotment 101 in DP 16035
Allotment 32 in DP 89685
Allotment 3 in DP 24986
Hundred of Adelaide
In the area named
Morphettville

CT 5069/138	CT 6091/578	CT 5436/959
CT 5069/142	CT 5069/141	CT 5479/385
CT 5395/747	CT 5395/855	CT 5479/384
CT 5479/383	CT 5395/856	CT 5281/214
CT 5876/14	CT 5876/13	CT 5662/248
CT 5225/322	CT 5225/321	CT 6096/241
CT 5093/2	CT 5092/840	CT 5069/160
CT 5662/349	CT 5876/12	CT 5069/144
CT 5560/796	CT 6096/234	CT 5452/397
	CT 5441/111	



AMENDED PLAN
15.03.2017



Key

 Proposed Display

 Village location



Existing buildings to be demolished.

No. of proposed allotments

Balance allotments

No. of existing allotments

Total area 3.25

Length of new road

RECEIVED

The land is generally flat

Road pavements shown are indicative only.

****Not to be used for detailed engineering design**

Dimensions and areas are subject to survey.

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Glenn Ian Hordacre
LICENSED SURVEYOR

REF: A146015	SAHT Order 3516
DWG NO.: A146015PROP1(H)	PROJECT No. 7161010
REVISION: H	HENDRIE STREET
DEL 15.03.2017	MORPHETTVILLE

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- + Construction + Mining +
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Attachment #3

Morphettville Residential Design Guidelines





MORPHETTVILLE

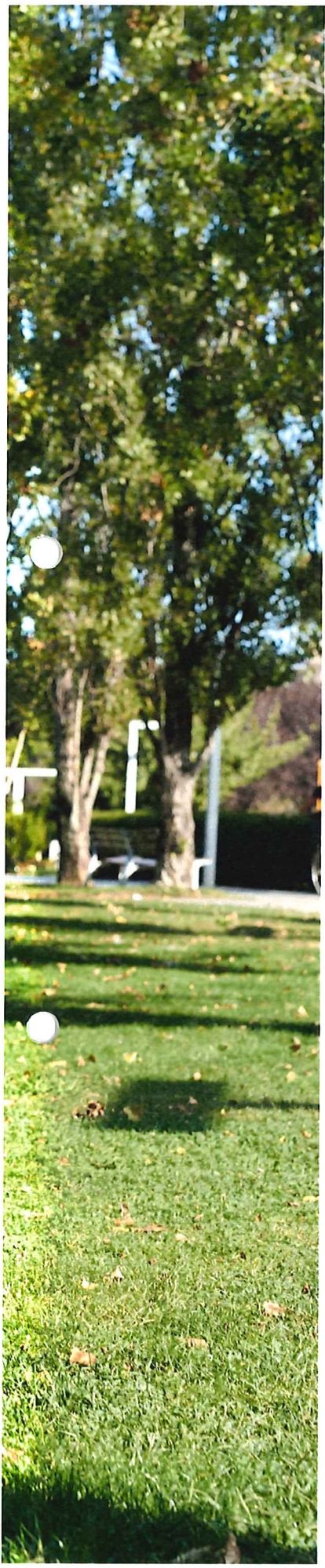
A NEW PERSPECTIVE

**RESIDENTIAL DESIGN
GUIDELINES**

April 2017







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1. ABOUT THIS GUIDELINE

The Morphetville Urban Renewal project is a master planned urban and community development within the City of Marion involving renewal of an existing neighbourhood. It is being developed using 'traditional neighbourhood design principles', supporting the wider project objectives of sustainability, enhancing social interaction and returning a sense of community to residential areas.

A key goal of Morphetville Urban Renewal Project is the promotion of a variety of housing types with the objectives of:

- Providing greater housing choice;
- Creating a broad price range for housing, incorporating both traditional detached housing and a range of other new and innovative housing products;
- Delivering built form that will achieve consistent urban design within the project area;
- Redesigning the streetscape, and rebalancing the mix of public and private ownership.

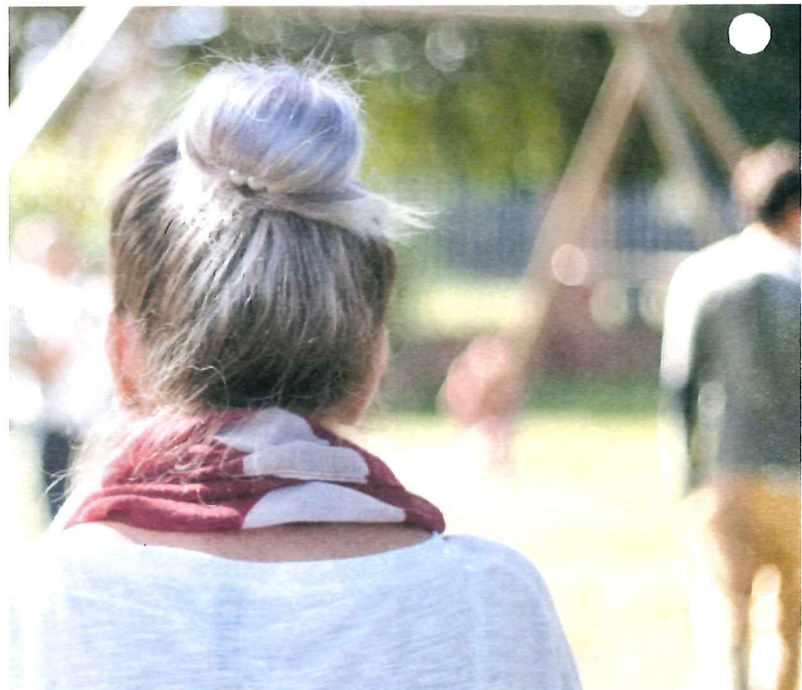
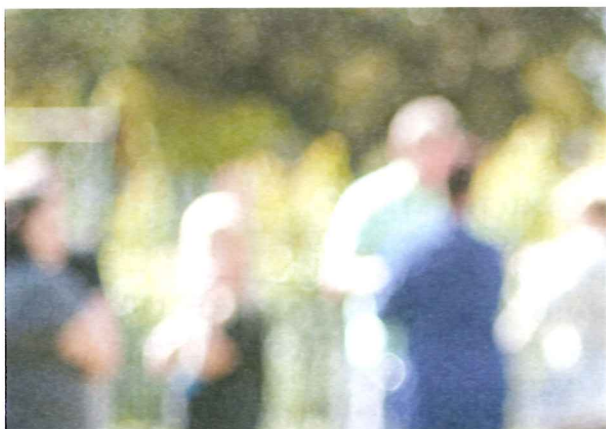
To achieve these aims, a level of development guidance is required, in this case in the form of a Residential Design Guideline.

Built form design guidelines will ensure Morphetville develops into a quality neighbourhood that provides investment protection to all, maintains flexibility to design your dream home while ensuring your home contributes to the creation of a neighbourhood that all residents will be proud to call home.

All purchasers of land at Morphetville have committed to the Encumbrance which is a legally binding document registered on your Certificate of Title.

Diverse and innovative housing designs are encouraged at Morphetville. Any application not strictly in accordance with the design guidelines that is high quality and meets the overall vision may be granted approval if the home has strong design merit. The Encumbrance Manager will make the final decision in respect to any variations.

Note: These Residential Design Guidelines will not apply to compact lots designated by Renewal SA which are subject to being constructed via House & Land packages.



1.1 RESIDENTIAL DESIGN REQUIREMENT STRUCTURE

The structure of this Residential Design Requirement follows the design process and is set out as follows:

1. ABOUT THIS GUIDELINE:

A background to the Residential Design Guideline and its role in the approval process;

2. SUSTAINABILITY:

Achieving a more environmentally friendly dwelling, aiming to reduce your energy consumption;

3. PLANNING THE SITING OF YOUR HOME:

Arranging your house in the best way on your allotment;

4. YOUR HOUSE AND THE STREET:

Ensuring your block and others work together to contribute to a great, safe and friendly street.

1.2 INCURRED COSTS

- As Renewal SA has carefully planned the location of services and infrastructure any costs related to relocation, removal or establishment of any infrastructure, services, utilities, street trees, landscaping, footpaths, crossovers, kerbing, fencing, retaining walls etc., required due to the design and siting of your home must be paid for by you. Renewal SA will not accept the responsibility or cost of altering any services or infrastructure beyond that which is already constructed or planned.
- If there is a level change from the existing levels at the property boundary, you are required to address the levels at your expense.

1.3 CONSTRUCTION TIMELINES

It is a requirement that for each individual site, construction of a dwelling will commence within twelve (12) months of settlement of the land sale contract, and be completed within 12 months of commencement, including front landscaping.

This ensures house construction gets underway soon after land has been purchased and that the landscaping of homes are quickly established and maintained.



1.4 PROCESS FOR APPROVAL

Prior to applying for Development Approval from the City of Marion to construct your house, the owner must submit all drawings, schedules and specification of the house to Renewal SA for an assessment of compliance with the Residential Design Guideline for the Morphettville Urban Renewal area.

A preliminary sketch plan can be submitted for preliminary discussion prior to formally submitting all appropriate documentation.

Submission to be forwarded by post as detailed below:

Project Manager
(Encumbrance Assessment)
Morphettville Urban Renewal Project
Project Delivery (Renewal SA)
Level 9 Riverside Centre North Tce
ADELAIDE SA 5000

For queries about or help with this Residential Design Guideline, please contact 8207 1300.

Approval from Renewal SA does not constitute Development Approval, which is required from the City of Marion; rather a contractual agreement between landowner and developer that prescribed standards are met to achieve project objectives.

City of Marion endorsement and approval is still required following the encumbrance approval.

Applicants should consult the City of Marion and other relevant authorities for information on other legislation and policies concerning residential development.

STEP 1

Read this Residential Design Guideline and consider the Building Envelope Plan for your allotment.

STEP 2

Prepare plans for your allotment and home.

STEP 3

Submit plans, materials and colour selections to Renewal SA for assessment (your builder will help you to do this, and may undertake this step on your behalf). Further information, clarifications, or amendments may be sought by Renewal SA to ensure your design meets this Residential Design Guideline.

STEP 4

Approval granted by Renewal SA. Stamped plans will be supplied to your builder for submission to the City of Marion for statutory development assessment.

STEP 5

Construction of your home.

STEP 6

Landscape your home.



2. SUSTAINABILITY

DESIGN INTENT

Consistent with the Renewal SA's commitment towards providing 'sustainable' developments to the community, Morphettville has endeavoured to fulfil the State Government's objectives of creating communities that balance social, environmental and economic outcomes, not only to those persons residing within the redevelopment area, but also for the wider community.

2.1 BUILDING ORIENTATION

DESIGN INTENT

Energy efficiency starts with clever design. The way in which a building is oriented contributes to the embodied and future energy uses of a building.

MANDATORY

- A living area with a north-facing window must be provided (and should be maximised) with appropriate shading.

2.2 WINDOW TREATMENTS

DESIGN INTENT

Effective shading from direct sunlight and heat gain can have a similar effect on the mechanical cooling needs of a home.

MANDATORY

Locate living areas to the North and where possible locate sleeping areas to the South.

- North facing windows should be maximised
- West windows should be minimised as they are difficult to shade
- Lower storey windows and glass doors which face north, west or east must also have their own adequate external shading. This may consist of eaves of not less than 400-450mm or other alternative external shading device.
- Roller shutters on publicly visible windows are not acceptable.



2.3 WATER HEATING

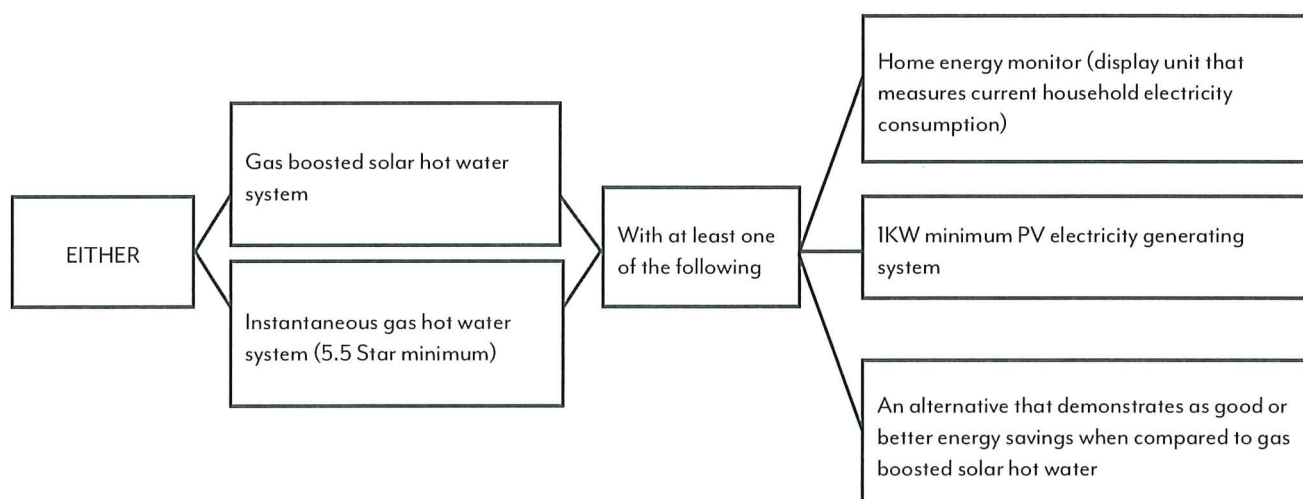
DESIGN INTENT

An energy efficient water heater has the potential to reduce household energy bills significantly.

There are a range of energy efficient hot water heaters to choose from, depending on your fuel source, household size, budget, and preference for instantaneous or storage systems. By choosing the best hot water system for your needs and using it wisely, you can lower your hot water costs.

FURTHER SUGGESTIONS

Choices for hot water systems are as follows:



Hot water systems should be located as close as possible to the kitchen and bathrooms, to minimise water loss when waiting for hot water to come through the shower/bath/sink.



2.4 WATER CONSERVATION

DESIGN INTENT

When precious resources like water are in short supply, the advantages of collection, storage and re-use of water becomes crucial to their management.

Minimising mains water use and using fit-for-purpose water will reduce demand on the drinking water system and benefit the environment.

MANDATORY

- All dwellings must include a rainwater (retention) tank, at the following minimum size, plumbed to a toilet.
- Allotments up to 300m² in land size require a 1000 Litre tank
- Allotments over 300m² in land size require a 3000 Litre tank
- All dwellings on all allotments will additionally need a detention tank, provided to meet all requirements in accordance with City of Marion (Council) Development Plan
- External taps must be provided at both the front and rear of the lot to enable garden irrigation.

2.5 CLEAN SITE CONSTRUCTION

DESIGN INTENT

Morphettville is located within a beautiful environment; protecting this environment during construction is important and we encourage you to discuss with your builder how they will address these requirements as part of their construction plan.

MANDATORY

- All building materials and wastes associated with construction must be contained on site with a bin provided on site at all times. Bins on site must be emptied regularly.
- Light wastes (plaster and cement bags, plastics, wrappings) should be disposed of in covered waste bins to avoid blowing into the surrounding environment.
- Site is to be kept in a clean and tidy manner throughout construction; Recycling of waste is encouraged where possible.
- Materials required for construction must be stored on sites in a neat and tidy manner and wholly within the property boundary.
- Any surplus soil from footing excavation must be immediately removed from site and legally disposed. Surplus soil is not to be stored on site or on adjoining allotments.
- Barriers may be required to be installed to prevent soil, debris and rubbish from entering the stormwater system.

2.6 ENERGY EFFICIENCY

DESIGN INTENT

All new homes built in South Australia need to comply with the State Government's Sustainable Home requirements that require a '6-Star' Energy Rating.

The best time to consider energy efficiency is when you are planning a new home.

MANDATORY

- Minimum 6 star energy rating. Your builder will undertake a home energy rating assessment for submission under the Building Code.

FURTHER SUGGESTIONS

- Further to the minimum 6 star energy rating, we encourage you to consider the inclusion of a range of efficiency measures including:
- Zoning your home with doors to allow efficient heating and cooling.

- Including external eaves and window shading devices to the north, east and western facades.
- We encourage the inclusion of Solar Hot Water and Photo voltaic (PV) cells. These panels should be supported on your roof not on a separate frame and be located where possible to reduce visual impact from the street. Solar Hot Water tanks should be located within your roof space or at ground level.
- The Australian Government website located at www.yourhome.gov.au has a wide variety of energy saving tips.

3. PLANNING THE SITING OF YOUR HOME

3.1 BUILDING ENVELOPE PLAN

DESIGN INTENT

Every allotment within the Morphettville project area is unique and guided by a Building Envelope Plan (BEP). Driveway locations, access points, easements and other impacting elements are detailed on the BEP.

You must ensure you apply this Residential Design Guideline in conjunction with the relevant BEP for your allotment.

Where the BEP may slightly differ from the building setbacks outlined below, the requirements outlined in the BEP will take precedence.

MANDATORY

- How you place your home on your block should be in accordance with the Building Envelope Plan (BEP).
- The BEP details the minimum front, side, and rear setbacks for your home; if your allotment has a single or double driveway; and if your allotment allows building on the boundary where a portion of the wall can be built up to the neighbouring boundary.
- You will need to make sure the location of your lot service connections and street infrastructure is considered in your design.

3.2 EXTERIORS

DESIGN INTENT

A range of contemporary architectural styles will be supported to allow every resident to build the home of their dreams. All homes will sit comfortably side by side through the design guidelines focus on quality and street front design.

MANDATORY

The front and corner exterior of your home to a public street should present an attractive and interesting appearance through the use of a mix of the following treatments;

- Use of varied wall and roof lines to avoid long expanses of flat wall.
- Incorporation of contemporary windows at all levels of your home visible from a public street. High level windows on large blank walls are not acceptable.
- No bathrooms or ensuites should be visible on front elevations.
- Two storey is desirable with upper floor balconies to the front, and where on a corner allotment (only), side of your home.



X High level windows on large blank walls are not acceptable.



3.3 BUILDING SETBACKS

DESIGN INTENT

A setback is defined as the distance between a property boundary and the main wall.

MANDATORY

- Dwellings should conform to the setbacks shown on each allotment's BEP.
- Boundary walls should not exceed 10 metres in length. Where there are two separate walls on a boundary they should be separated by a space of no less than 3 metres.
- Dwellings that encroach outside the setbacks shown on the BEP are unlikely to be approved and only minor encroachments will be assessed on merit.

3.4 PRIVATE OPEN SPACE

DESIGN INTENT

Open space is to be provided in accordance with the City of Marion Development Plan.

Minimum dimensions and overall sizes for private open space (POS) help to ensure the functionality of outdoor spaces and encourage indoor/outdoor living. Overly small or narrow spaces are less likely to be used regularly. Front yards are not counted as POS.

POS should be accessed directly from the 'living areas' of your home. 'Living areas' include, but not limited to: lounge rooms, family rooms, dining rooms, living rooms etc., but does not include bedrooms, or bathrooms, Renewal SA will consider the function of a room rather than its name on any plans when determining if it is a living area.

MANDATORY

- POS must be provided in accordance with the open space requirement in the Council development plan.

4. YOUR HOME AND THE STREET

4.1 MATERIALS AND COLOURS

DESIGN INTENT

Your material and colour selections are an important part of creating an individual feel for your home to create interest.

Your encumbrance application needs to identify the mix of materials, colours and textures proposed.

When selecting materials you should ensure that they will provide a high quality appearance over time and be easy to maintain.

MANDATORY

- Your home must contain a range of building materials on visible facades and built using at least two of the following materials:
 - Rendered, bagged or painted masonry in a single or mix of complimentary colours
 - Stone
 - Feature face clay masonry brick
 - Feature panels including with expressed joints
 - Feature lightweight cladding painted or stained
 - Treated timber or steel as feature highlights to the facade in the form of high quality window frames, timber panel garage doors, feature front doors or feature front fencing may be considered based on architectural merit as the second material.
- Galvanised iron, zinc or plain aluminium coated steel, plain fibre cement sheet, bare concrete blocks or plain cement panels will typically not be permitted for use as feature building materials visible from a street or reserve. These materials may be used for feature highlights where they complement the home's architectural style.
- Alternative textures and material colours will be considered on merit.
- A full schedule of materials and selected colours must be included as part of your application.



✓ Example use of at least two building materials on visible facade.

FURTHER SUGGESTIONS

- Features including verandas, balconies, entry structures and window awnings create interest, particularly when used in conjunction with complementary colours, building materials and textures.
- Shadow effects created through projections and indentations in the floor plan and roof line reduce visual bulk and improve appeal, blank, featureless expanses will not be approved.
- A contemporary aesthetic could be expressed through quality wall treatments and finishes.
- Simplicity and balance should apply to the use of feature materials.
- Secondary street elevations must represent an extension of the primary elevation in terms of architectural expression.

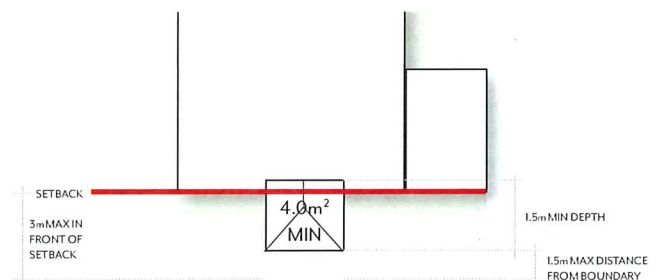
4.2 ENTRY PORCH & PORTICOS

DESIGN INTENT

All homes must provide a clear and visible entry to define the front door entry and provide shelter for people when entering the home through the inclusion of a porch, entry portico or verandah that meets the following guidelines.

MANDATORY

- The size and design of the verandah or portico must complement the style of your home.
- A porch/portico should have a minimum area of 4.0m^2 and a minimum depth of 1.5 metres and feature substantial masonry columns and have a separate roof line.
- Verandahs, balconies and entry porticos and porches can be built forward of a 3 metre setback identified on the Building Envelope Plan to a distance of 1.5 metres from the front property boundary.
- The verandah (or portico) roof may have a flat, downslope, bullnose or concave shape but not an upslope and must be integrated into the design of the dwelling. Flat roof verandahs are required to have a fascia of minimum 0.3m to front and side elevations.
- Verandah or portico columns of masonry must be rendered or use feature/face brick.



4.3 CORNER ALLOTMENTS

DESIGN INTENT

For all homes located on a corner the materials and features used on the front of the home must be used on the side wall that is visible from a public street or reserve. To achieve this, the following should be incorporated as a minimum standard.



✓ Continuing materials and features around visible side wall on corner allotments.



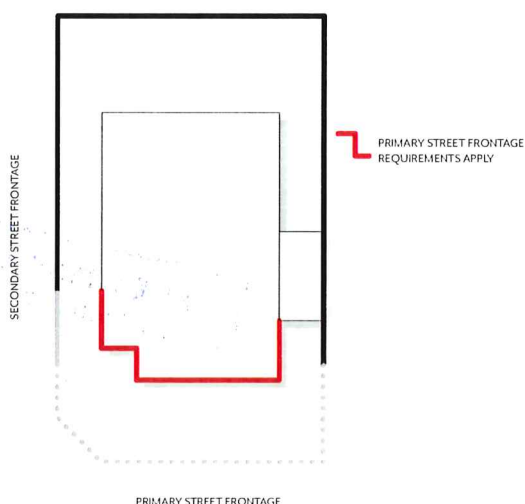
MANDATORY

- Homes on corner allotments must address both public facades (including secondary streets, lanes and reserves) to the same quality of detail and articulation.
- The same quality of material, themes and detailing of the front facade is to be replicated on the secondary facades. Extension of front facade detail around the corner for a minimum of 2 metres.
- Windows are to match or complement the windows on the front of the home on all levels of the home visible from the street.
- Any side fencing must return to the edge of the house but should sufficiently expose the detail/treatment of the corner facade to view.
- Balconies and porticos must wrap around the corner and/or the building and must incorporate similar wall lines as the main building facade to create interest.
- Blank walls on secondary facades will not be permitted.

FURTHER SUGGESTIONS

- The following elements should be considered to adequately address secondary streets facades:
 - Wrap-around verandahs;
 - Windows on secondary frontages (that also meet verticality requirements of front facades);
 - Blade walls;
 - Balconies;
 - Feature materials and detailing;
 - Wall articulation and modulation.

CORNER ALLOTMENTS



4.4 ROOF DESIGN

DESIGN INTENT

The roof design of a building has a significant impact on its appearance and integration with adjacent buildings. The type, shape, materials and detailing can affect the amenity of the locality.

MANDATORY

- For single storey homes, the roof pitch must be 25 degrees or greater.

FURTHER SUGGESTIONS

- Skillion roofs may be considered to add visual interest to the streetscape.
- Flat roofs concealed by parapet walls and other architectural treatments will be considered on merit for 2 storey homes.

4.5 PRIVACY AND SURVEILLANCE

DESIGN INTENT

Window and balcony placement should capture the long views to the surrounding open space and street network and encourage light into your home while minimising the direct overlooking into your neighbours' private space including garden space.

MANDATORY

- For two storey homes directly overlooking into neighbouring property private open space must be avoided through the use of fixed obscure glass to a height of 1.5 metres above the internal floor with opening windows supported above this fixed height. Alternatively overlooking can be addressed through the use of fixed external feature screens to the outside of clear glass sliding windows.
- Where your home overlooks a street or public reserve your home must be designed to incorporate windows and balconies to capture views and provide surveillance into adjacent public spaces.
- Obscure glass should be minimised on street and park frontages with bathrooms located in an alternate location where possible.

4.6 WINDOWS AND DOORS

DESIGN INTENT

The window design and placement of a building has a significant impact on its appearance and integration with adjacent buildings. The type, shape and materials can affect the appearance of your home.

MANDATORY

- Windows on the front facade must have matching head and sill heights on each storey.
- Front facade windows (and secondary facade windows on corner lots) are to have a 1.5:1 or greater vertical proportion. That is, the height of the window must be at least 1.5 times the width.
- Horizontal windows are required to have a minimum 1:3 or greater vertical proportion. That is, the width of the window must be at least 3 times the height.
- Horizontal windows in groups of 2 or more which are vertically aligned (that is, one above the other) may be considered to vertical windows on public facades.
- For dwellings we encourage internal floor to ceiling heights of 2.7 metres which will best support the installation of ceiling fans and provide your home with a feeling of space. The minimum accepted ceiling height is 2.55 metres.

4.7 FRONT YARD LANDSCAPING

DESIGN INTENT

Morphettville is a neighbourhood that is characterized by the established natural landscape that surrounds it. To complement and improve this landscape the developer will be enhancing public reserves, walking spaces and new environmental planting to the road reserves.

The Guidelines control the timing and establishment of the landscaping areas of your home visible from a public street.

MANDATORY

- Landscaping works must be completed within 6 months of moving into your home.

FURTHER SUGGESTIONS

- Plain mulch or gravel without supplementary planting or artificial turf will typically not be accepted where visible from a public street or reserve.
- Additional planting in the verge area is encouraged to meet the Marion Council verge development guidelines available on the Council website, which include plant selections that are non-invasive and will protect the natural environment. However, artificial turf should not be installed within the verge or front yard under the Encumbrance.
- Marion Council can suggest what grows well in the Morphettville area and requires minimal watering from experience maintaining the Council's parks and gardens.

4.8 FENCING

DESIGN INTENT

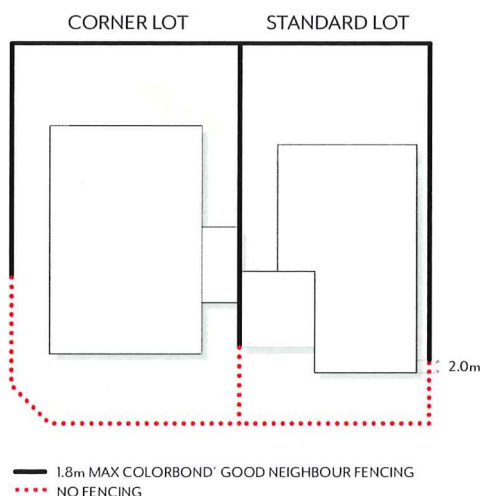
Fencing contributes significantly to providing privacy and security to your outdoor space while also ensuring a quality street address for your home and contributing to the character of Morphettville.



- ✓ 1.8 metres high Colorbond® fencing, good neighbour style with no exposed structural posts, in Grey Ridge®

MANDATORY

- Side and rear boundary fencing between neighbours should be 1.8 metres high Colorbond® fencing, good neighbour style with no exposed structural posts, in Grey Ridge® or a colour to the satisfaction of the Encumbrance Manager.
- Corner fencing should be constructed from either painted or treated timber in natural tones, brick, rendered finish or Colorbond® sheet metal in Grey Ridge® or equivalent colour with expressed feature posts. Other decorative corner fence materials will be considered on merit. Plain Colorbond®, unfinished timber or zincalume will not be supported.
- Corner fence should finish back from your front wall by a minimum of 2 metres to expose the corner address of your home.
- Front fences must be a minimum of 0.9m high to a maximum of 1.2m high and must include transparent components.
- If you wish to install a front fence it should be open in style to ensure views are maintained into the street and of a design which complements the style of the dwelling.
- Solid fencing is not permitted forward of the front of the dwelling.
- Some allotments at Morphetville may have had fencing installed by the developer. This developer constructed fence should not be changed or adjusted without the prior approval of the Encumbrance Manager.



FURTHER SUGGESTIONS

- The owner is responsible for serving fencing notices on neighbours and seeking any agreements under the Fencing Act 1975.
- The owner is responsible for ensuring any fencing erected is on the true boundary; any encroachment found later will be rectified at the owner's expense.

4.9 GARAGES AND CARPORTS

DESIGN INTENT

The main house should be the dominant feature when viewed from the street with the carport/garage a secondary element.

The BEP specifies the driveway location and therefore also your garage location. The BEP also shows whether your garage should be located on the side property boundary.

MANDATORY

- Unless otherwise stated in the BEP, garages must be set back a minimum of 5.5 metres from the front property boundary and must be a minimum of 0.5 metres and maximum of 2.0 metres behind the main face of the dwelling.
- Garages on secondary streets can be located a minimum of 2.5m from the side boundary and should be at least 0.5m behind the dwelling wall.
- Carports are required to have corner pillars, brick or be rendered to match the dwelling. Steel posts are not acceptable. If a carport is used then the roller door mechanism must be hidden from view by way of wing walls.
- Roofing in terms of materials, colours and styling must match the dwelling roof.

4.10 DRIVEWAY AND CROSSOVER

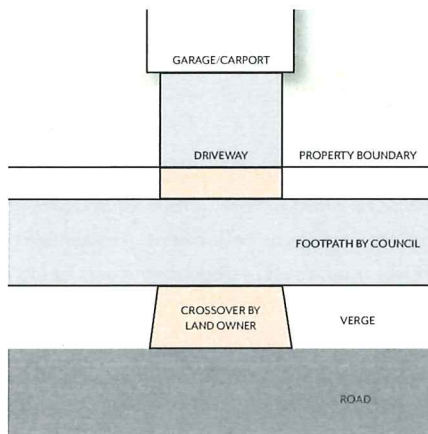
DESIGN INTENT

The BEP specifies the driveway location.

Driveway and crossover is to be completed as part of the dwelling construction to provide suitable vehicle access to properties.

MANDATORY

- A driveway is to be constructed for each dwelling from the front property boundary to the main face of the garage or carport.
- A crossover is to be constructed from the front property boundary to the road edge/kerb edge.
- Acceptable materials for driveway construction will include exposed aggregate concrete, patterned concrete, block pavers. Construction is to include appropriate joints, grading, and drainage.
- The crossover must be constructed in accordance with the materials requirements and specifications of the City of Marion (Council).
- Crossover and driveway is to be constructed at the owner's cost (not by Renewal SA).



4.11 OUTDOOR STRUCTURES

DESIGN INTENT

Any outdoor structures, utility elements such as meter boxes, hot water services, air conditioners, clotheslines, pool filters, TV antennas, outbuildings and sheds and services including solar hot water tanks, solar panels, air-conditioning units, rainwater tanks, verandahs and garages are required to be approved under the Morphettville Residential Design Guidelines prior to installation and must be located to be hidden from view from public areas.

The location of outdoor structures has the potential to negatively impact the visual appearance of the buildings and the amenity of adjacent spaces if not appropriately considered.

FURTHER SUGGESTIONS

- Coloured finishes and patterns to enhance the aesthetics of the driveway material are considered desirable.



MANDATORY

Sheds

- As a minimum standard all sheds should be constructed from Colorbond® sheet metal or similar in Grey Ridge® or equivalent colour to match adjacent fencing and be screened with landscaping where visible from a street or reserve.

Rainwater Tanks

- Rainwater tanks must be positioned in your rear yard to minimize impact of their view from the street and impact on neighbouring property owners and painted to match the fence or home depending on its position.

Service Locations

- Air-conditioning units or solar hot water tanks must not be installed on your roof unless they can be appropriately screened to minimize the visual impact.
- Evaporative air conditioning systems must be of a low profile type, be well set back from the front facade and not visible from the street.

Solar Panels

- Solar panels shall be located on the roof, ideally where they are not visible from public areas and should in the first instance be located on the northern elevation, otherwise on the western elevation.
- Solar panels must be supported on the roof and not on a separate frame unless they are concealed from view from a public road.

Meter Boxes

- Meter boxes must be painted the same colour as the wall and should be located as far from the front of the house as possible while maintaining suitable access.
- Meter boxes are not to be visible on the public facades of dwellings unless located against the garage and in accordance with the following:
 - Located on the opposite side from a secondary street corner;
 - Painted to match the dwelling wall (render or brick); and
 - Located on a "wing wall" with a maximum depth of 1.5m forward of the garage.

Garbage Bins

- Suitable screening may be necessary to screen utility elements and garbage bins.

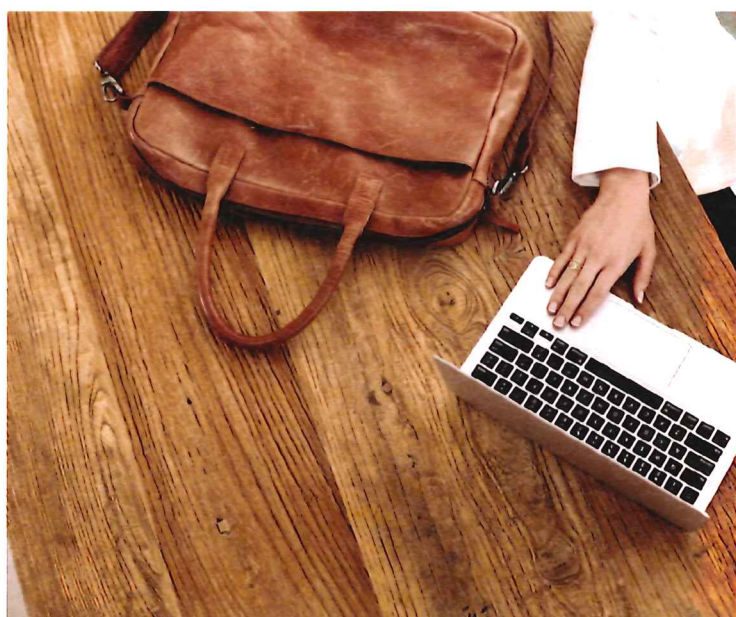
4.12 TELECOMMUNICATIONS AND BROADBAND NETWORK

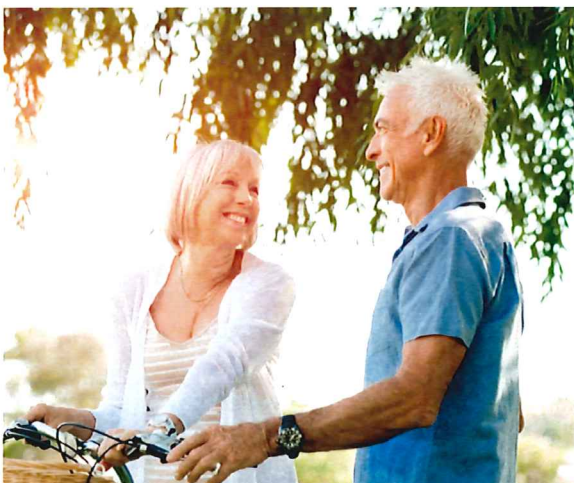
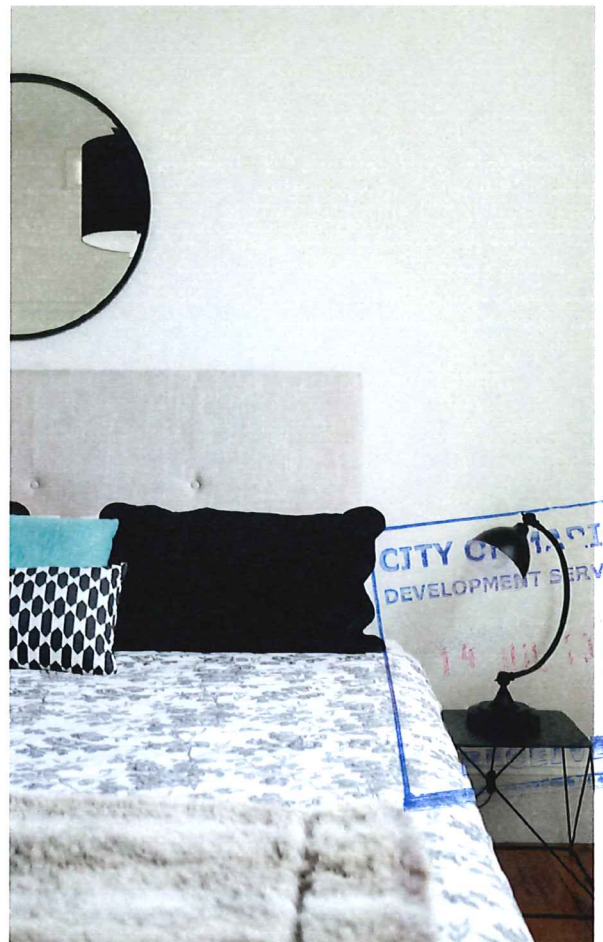
DESIGN INTENT

It is important that you talk your builder and cablers about the telecommunications services you may wish to access in your home and provide guidance on where Broadband equipment, phone and data outlets should be located for the services you want.

MANDATORY

- Wiring and cabling of your premises must comply with the relevant infrastructure service provider (wholesaler) for your allotment. Any failure to comply with this may result in additional costs being incurred by you.
- To utilise telecommunications and the Broadband network you will need to arrange access to the infrastructure through a RSP (retail service provider). This will require you to pay a fee for connection and ongoing services.







livemorphettville.com.au
morphettville@connektup.com.au
1300 550 277

RenewalSA
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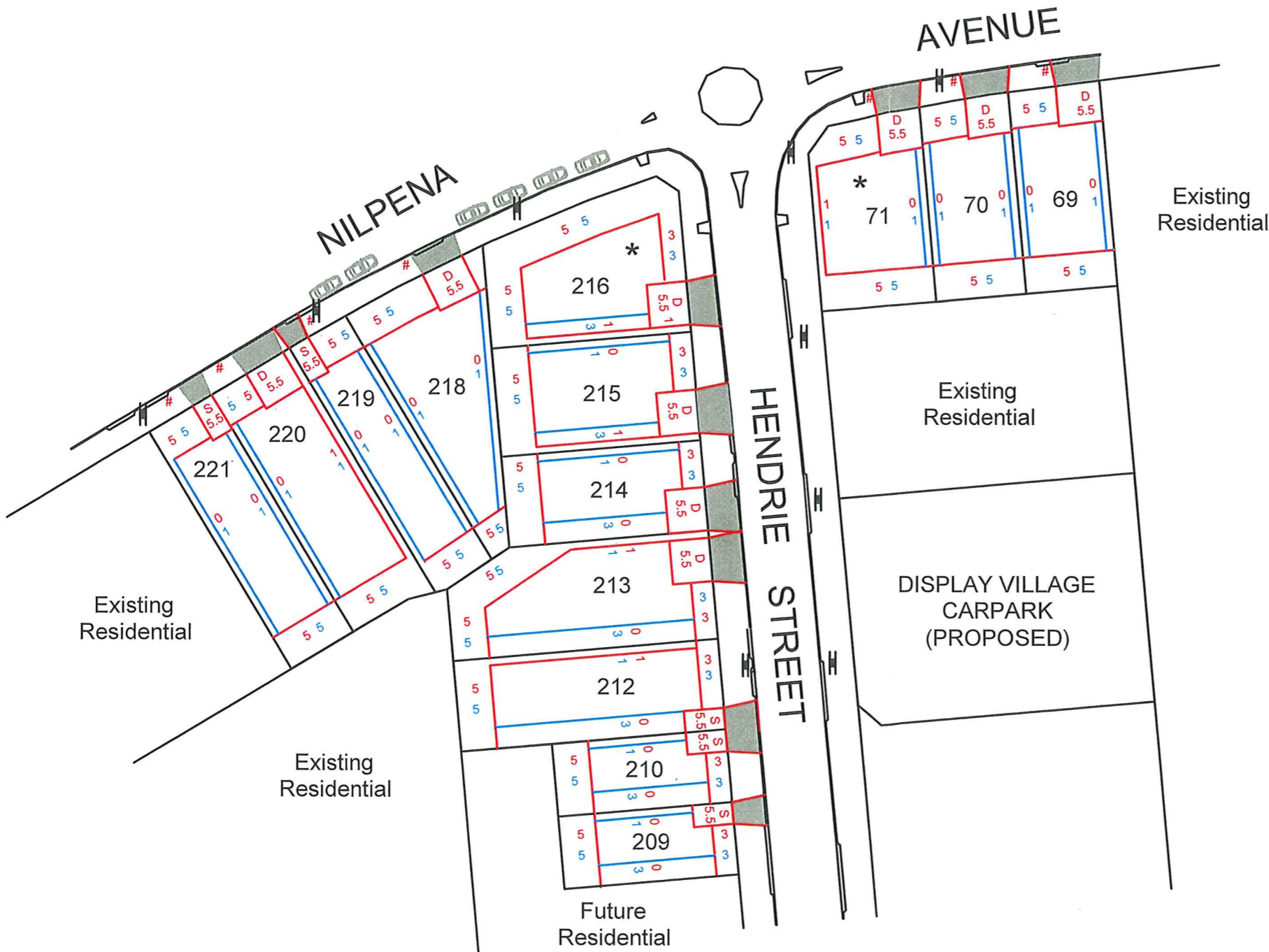
Every precaution has been taken to establish the accuracy of the material herein. Prospective purchasers should not confine themselves to the contents but make their own enquiries to satisfy themselves on all aspects. The Developer accepts no liability for any loss or damage howsoever arising to any person or corporation who may rely on the information contained in this brochure for any purpose. The photographs and diagrams are for illustration purposes only and may not depict the actual development. Purchasers should refer to the Contract of Sale for final design and build requirements. Connekt Urban Projects RLA 247093.

Attachment #4

Building Envelope Plan



Building Envelope Plan Display Village Morphettville



- LEGEND**
- S Denotes single driveway location - 3m wide
 - D Denotes double driveway location - 6m wide
 - Single Storey Setback (distance from boundary or tie line shown)
 - Two Storey Setback (distance from boundary or tie line shown)
 - * Dwelling must address both road frontages
 - On street car park
 - # Bin Location
 - H Denotes Stobie Pole



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LICENSED SURVEYOR

REF: A146015	SAHT Order 3516
DWG NO.: A146015BEP DISPLAY (B)	PROJECT No. 71610100
REVISION: B	HENDRIE STREET
DEL 11.07.2017	MORPHETTVILLE

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South Australia 5067
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+ Property + Land Development +
+ Construction + Mining +
+ Spatial Information Management +

Alexander Symonds
Surveying Consultants

CERTIFIED QUALITY MANAGEMENT SYSTEM

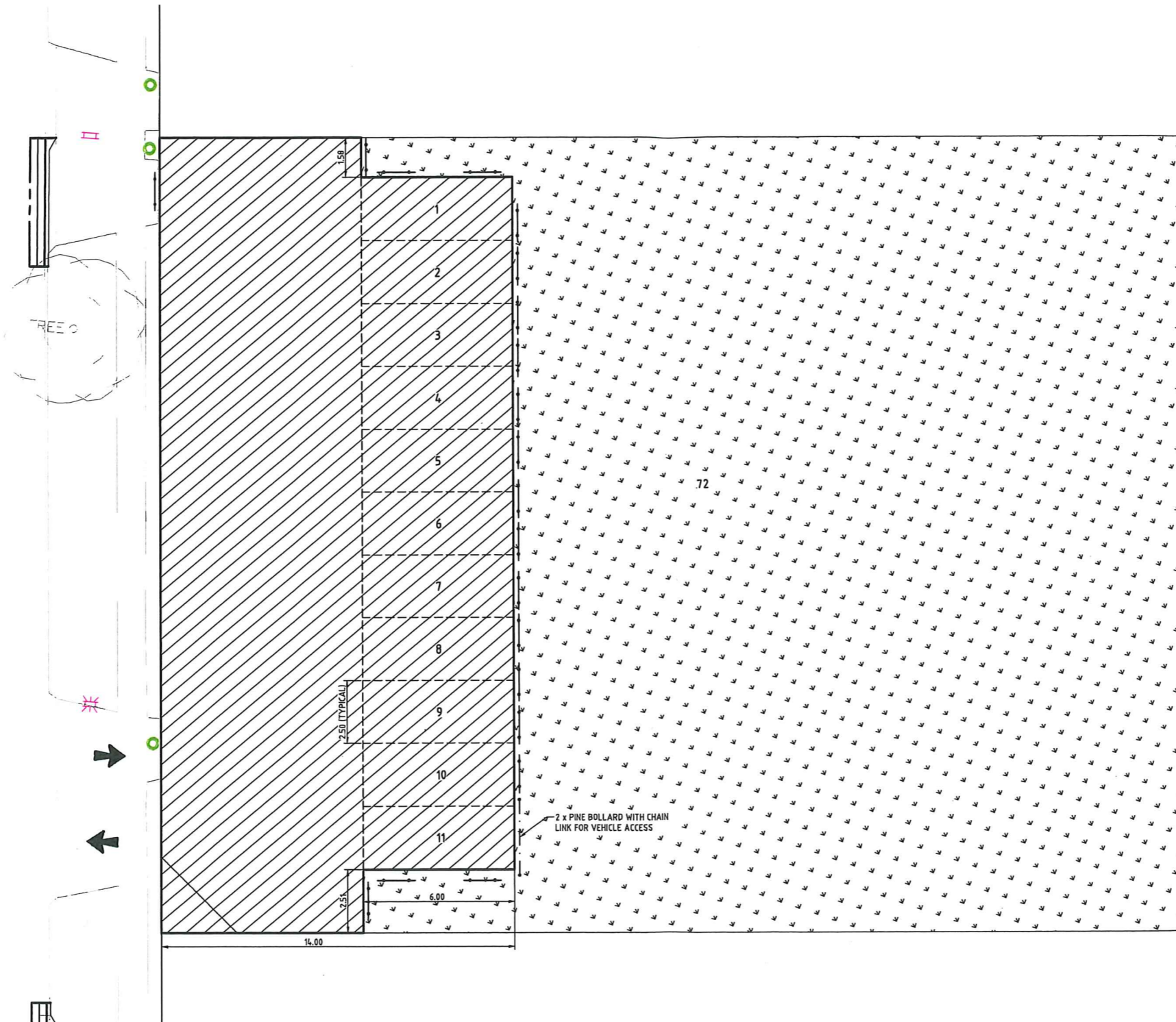
Attachment #5

Car Park Design



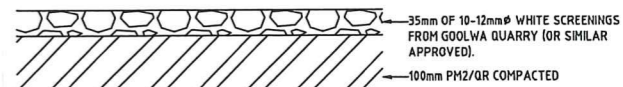


HENDRIE STREET

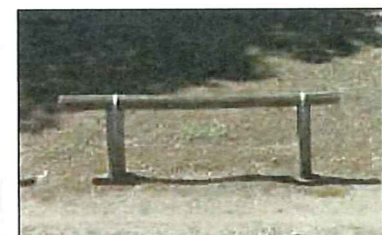


LEGEND

- 2 x PINE BOLLARD WITH CHAIN LINK (3m ACCESS)
- PINE BOLLARD FENCE
- PAVEMENT TYPE 1
- LANDSCAPED AREAS (BY OTHERS)
- CARPARK ACCESS



PAVEMENT TYPE 1

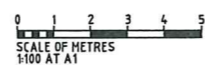


PINE BOLLARD FENCE



NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION	DESIGN	DRAWN	APPROVED
A	28.03.17	ISSUED FOR TENDER	KDA	KDA	AF



DESIGN	KDA	DESIGN CHECK	
DRAWN	KDA	DRAFTING CHECK	
APPROVED		DATE	
CAD FILE: 16-1407-507			
A1	THIS DRAWING REMAINS THE PROPERTY OF GREENHILL ENGINEERS PTY LTD AND MAY NOT BE COPIED IN ANY WAY WITHOUT PRIOR APPROVAL FROM THIS COMPANY. © GREENHILL ENGINEERS PTY LTD		

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RENEWAL SA
MORPHETTVILLE URBAN RENEWAL
STAGE 1
PARCEL 105
TEMPORARY CARPARK
LOT 72

DRAWING NUMBER
16-1407-507

REVISION
A

Attachment #6

Builder Signage Guidelines





MORPHETTVILLE

DISPLAY VILLAGE BUILDER SIGNAGE GUIDELINES



CITY OF MARDON
DEVELOPMENT SERVICE
14 JUL 2017



Government
of South Australia

RenewalSA
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SIGN 1 - BUILDER SIGNAGE - LARGE BLADE

Each display builder is allowed one large blade sign displaying their brand, open hours and contact details.

This sign must be located within the boundary of the builder's entry/sales office. The sign should be designed in accordance with the builder's own brand guidelines. Maximum allowable height is 3.6M.

Max 1200mm

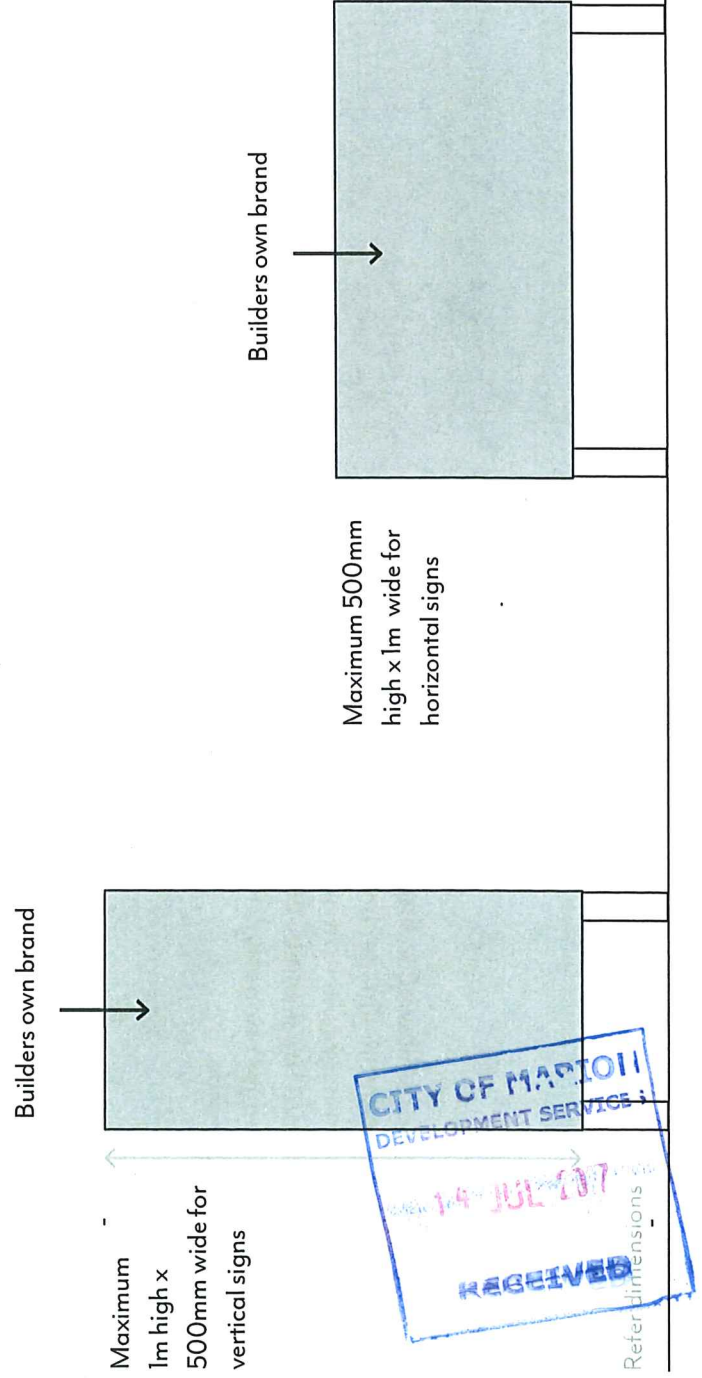
Max 3600mm

← Builders own brand

SIGN 2 - BUILDER SIGNAGE - HOME DESIGN DETAILS

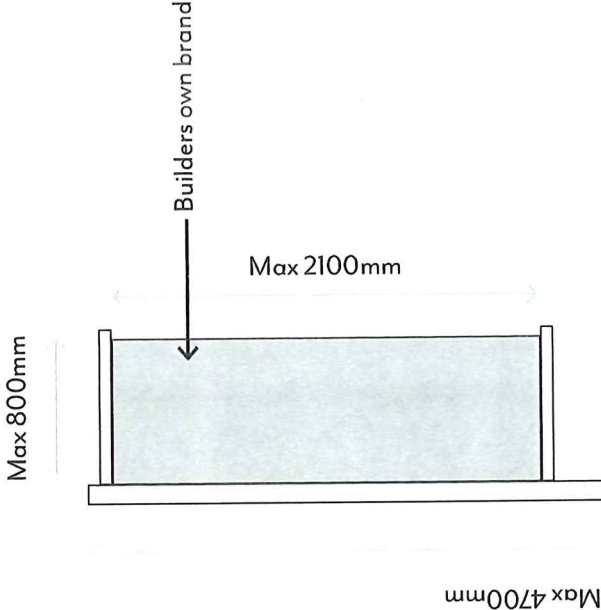
Each display home to have one sign displaying the name of the home, builder's logo, home size and any other detail the builder deems necessary to convey about the home.

These can be produced in line with each builder's usual design standard. They can be in either vertical or horizontal format at a maximum of 1m x 500mm.



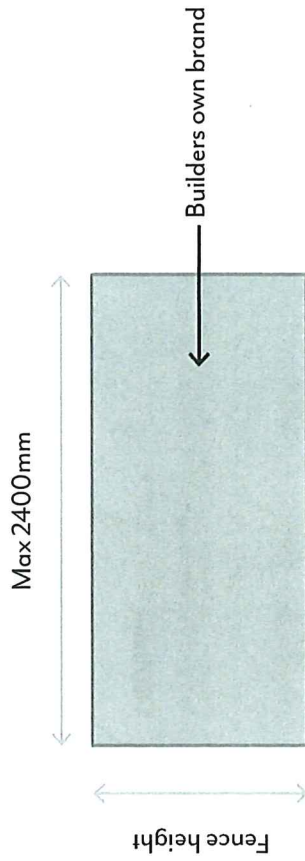
SIGN 3 - BUILDER SIGNAGE - BRANDED BANNER POLE

Each display builder is allowed to display one branded banner pole sign per home. Banner poles shall not exceed 4.7m in height above ground level and must be secured within the lot boundary. Banner dimensions shall not exceed 2.1m high x 800m wide.

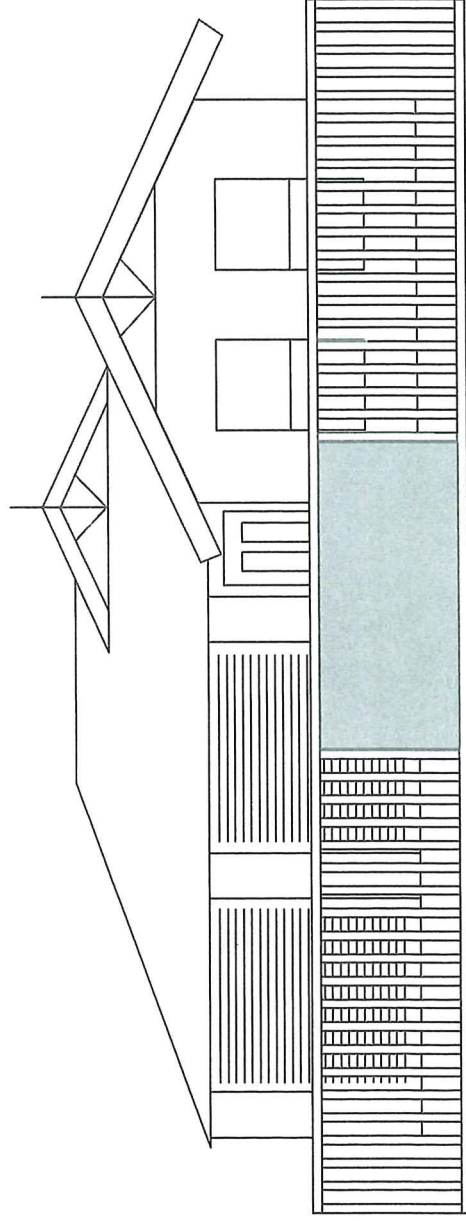


SIGN 4 - BUILDER SIGNAGE - PROMOTIONAL OFFERS ON FENCE

Whilst not encouraged (in the interests best presenting home facades and overall streetscape), builders will be allowed to display their promotional offers to the front fence, so long as such signs are rigid and contained within a neat and professional frame system. (Soft banners will not be allowed) A maximum of one such sign per display home is allowed. Dimensions must not exceed fence height x 2400mm in length.



Front fence signs are permissible for select promotional periods only and subject to Morphettville approval prior to production. No builder signs can be affixed to the outside of side or rear fences.

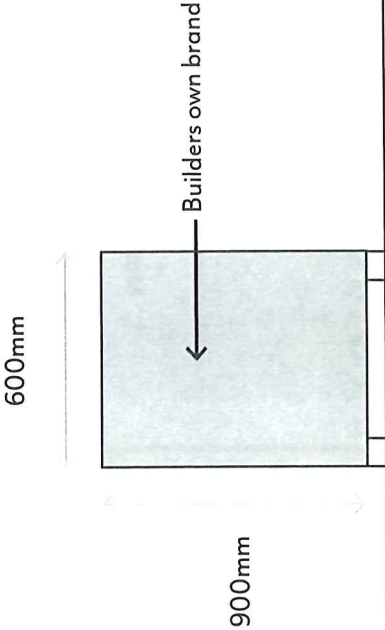


Refer dimensions.

SIGN 5 - BUILDER SIGNAGE - A-FRAME

A-frame / sandwich board signs are allowable. One such sign per builder is permissible and can only be displayed during the builder's open hours. Such signs must not be placed where they block the footpath and must be properly secured to ensure that they are not prone to wind and therefore a traffic or pedestrian hazard. These signs should no bigger than 900mm tall x 600mm wide.

At the close of the display homes each afternoon, A-frames / sandwich board signs must be taken in and stored within each builder's office.



Refer dimensions



MORPHETTVILLE

**ALL SIGNAGE PROPOSALS FROM
PARTICIPATING BUILDERS WITHIN
THE MORPHETTVILLE DISPLAY
VILLAGE MUST BE SUBMITTED
FOR APPROVAL TO RENEWAL SA
PRIOR TO PRODUCTION AND
INSTALLATION.**

For any signage queries relating
to the Morphettville Display
Village, please contact:
Kirsty Stone / Renewal SA.

P: 08 8207 0513

M: 0409 436 989

kirsty.stone2@sa.gov.au



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