

APPLICATION ON NOTIFICATION – CATEGORY 2

Applicant:	Goelia Pty Ltd
Development Number:	520/L005/17
Nature of Development:	7-star Retreat located on top of the coastal headland overlooking Snelling Beach at Middle River, Kangaroo Island.
Type of development:	Tourist Accommodation
Zone / Policy Area:	Coastal Conservation Zone
Subject Land:	Lot 848 North Coast Road, Middle River. CT 5796/630.
Contact Officer:	Lee Webb
Phone Number:	(08) 7109 7066
Start Date:	Thursday 17 th August 2017
Close Date:	Close of Business Wednesday 30 th August 2017
<p>During the notification period, hard copies of the application documentation can be viewed at the Department of Planning, Transport and Infrastructure, Level 5, 50 Flinders St, Adelaide, during normal business hours. Application documentation may also be viewed during normal business hours at the local Council office (if identified on the public notice).</p>	

Written representations must be received by the close date (indicated above) and can either be posted, hand-delivered or emailed to the State Commission Assessment Panel.

Any representations received after the close date will not be considered.

Postal Address:

The Secretary
State Commission Assessment Panel
GPO Box 1815
ADELAIDE SA 5001

Street Address:

Development Division
Department of Planning, Transport and Infrastructure
Level 5, 50 Flinders St
ADELAIDE SA 5000

Email Address: scapadmin@sa.gov.au

**SOUTH AUSTRALIAN DEVELOPMENT ACT, 1993
REPRESENTATION ON APPLICATION – CATEGORY 2**

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Close Date:	Close of Business Wednesday 30th August 2017

My name: _____

My phone number: _____

PRIMARY METHOD(s) OF CONTACT: Email address: _____

Postal address: _____

_____ Postcode _____

You may be contacted via your nominated PRIMARY METHOD(s) OF CONTACT if you indicate below that you wish to be heard in support of your submission.

- My interests are:
- ☐ owner of local property
 - ☐ occupier of local property
 - ☐ a representative of a company/other organisation affected by the proposal
 - ☐ a private citizen

The address of the property affected is _____ Postcode _____

The specific aspects of the application to which I make comment on are:

Should the Development Assessment Commission conduct a public hearing for this Development Application:

- I ☐ wish to be heard in support of my submission
- ☐ do not wish to be heard in support of my submission
- (Please tick one)

- By ☐ appearing personally
- ☐ being represented by the following person:
- (Please tick one)

Date _____ Signature _____

Return Address: The Secretary, State Commission Assessment Panel, GPO Box 1815, Adelaide SA 5001 or scapadmin@sa.gov.au.



KANGAROO ISLAND COUNCIL - DEVELOPMENT APPLICATION FORM

43 Dauncey Street Kingscote

PO Box 121 Kingscote SA 5223

Phone: (08) 8553 4500 Fax: (08) 8553 2885 Email: kicouncil@kicouncil.sa.gov.au

ABN: 93 741 277 391 Visit: www.kangarooislandcouncil.sa.gov.au

Note: Fields marked with * denote a mandatory field.

<p>* Type of consent sought:</p> <p>IF YOU DO NOT SELECT THE TYPE OF CONSENT SOUGHT IT WILL DEFAULT TO PLANNING CONSENT ONLY:</p> <p>Development Plan Consent <input checked="" type="checkbox"/></p> <p>- Building Rules Consent <input type="checkbox"/></p> <p>- Or Will the Building Rules be Privately Certified? YES <input checked="" type="checkbox"/> / NO <input type="checkbox"/></p> <p>Full Development Approval (Both Development Plan Consent & Building Rule Consent) <input type="checkbox"/></p>	<p style="text-align: center;">Office Use</p> <p>DA No: 520/ /</p> <p>Record No:</p> <p>Previous DA: 520/ /</p> <p>Assessment: A.....</p> <p>Septic No: S..... /</p>
<p>* Applicant: (note: all correspondence will be sent to the applicant)</p>	
<p>* Name: Max Pritchard Gunner Architects</p> <p>Address: 2 Chapel St Glenelg</p> <p>Phone (H): 83762314 (W): 83762317 (M):</p>	
<p>* Owners Name: Goelia Pty Ltd</p> <p>Address: c/o Max Pritchard Gunner Architects</p> <p>Phone (H): as above (W): (M):</p>	
<p>* Builder's Name: TBA Licence No:</p> <p>Address:</p> <p>Phone (H): (W): (M):</p>	
<p>* Contact person for further information (include postal address if different to applicant)</p>	
<p>* Name: Max Pritchard Fax:</p> <p>* Address: 2 Chapel St Glenelg SA 5045</p> <p>* Phone (H): 83762314 (W): 83762317 (M):</p> <p>Email: max@mpgarchitects.com.au Contact only by Email: Yes <input type="checkbox"/> No <input type="checkbox"/></p>	
<p>* What is the land currently used for: (e.g. shop, office, vacant land, residential) Residential, Farming, Tourist Accommodation</p>	
<p>* Describe the nature of the proposed development: (e.g. alterations and additions to dwelling) Tourist Accommodation</p>	
<p>* Location of the proposed development:</p> <p>Lot No: 648 House No: Street Name: NORTH COAST RD Town: MIDDLE RIVER Section:</p> <p>Please attach a current copy of your Certificate of Title: Volume: 5798 Folio: 630 Hundred: DUNCAN</p> <p>Building Rules Classification Sought: Present Classification:</p> <p>If Class 5, 6, 7, 8 or 9 classification is sought, state the proposed number of employees: Male: Female:</p> <p>If Class 9a classification is sought, state the number of persons for whom accommodation is provided:</p> <p>If Class 9b classification is sought, state the proposed number of occupants of the various spaces at the premises:</p>	
<p>* Development cost (inclusive GST): \$ 4M * Proposed floor area: m²</p>	
<p>* Proposed materials (include finishes if known):</p> <p>Floor: External Walls: STONE Roof: WINDSPAN COLORBOND</p>	
<p>HAS THE CONSTRUCTION INDUSTRY TRAINING FUND ACT 2008 LEVY BEEN PAID/LODGED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/></p> <p>HAS THE ELECTRICITY DECLARATION FORM BEEN SIGNED/LODGED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/></p> <p>HAS AN APPLICATION FOR SEPTIC WASTE BEEN LODGED? YES <input type="checkbox"/> NO <input type="checkbox"/></p>	
<p>I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Development Regulations 2008.</p>	
<p>* Signature: Date: 15/5/17</p>	



REAL PROPERTY ACT, 1986



South Australia

The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5796 Folio 630

Parent Title(s)	CT 3854/94		
Creating Dealing(s)	CONVERTED TITLE		
Title Issued	08/08/2000	Edition 2	Edition Issued 18/10/2012

Estate Type

FEE SIMPLE

Registered Proprietor

GOELIA AUSTRALIA PTY. LTD. (ACN: 159 986 777)
OF 140 SEACOMBE ROAD SEACOMBE HEIGHTS SA 5047

Description of Land

ALLOTMENT 848 FILED PLAN 180880
IN THE AREA NAMED MIDDLE RIVER
HUNDRED OF DUNCAN

Easements

NIL

Schedule of Dealings

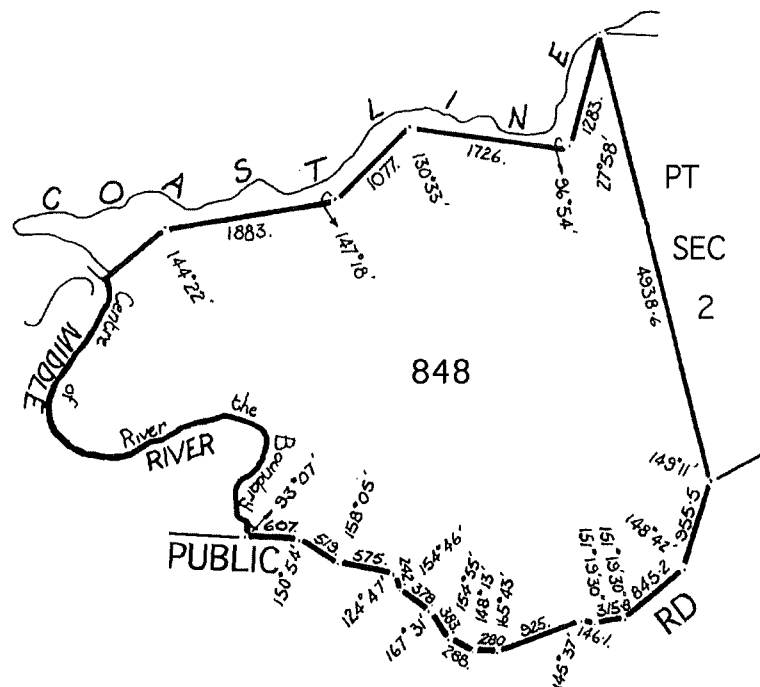
NIL

Notations

Dealings Affecting Title	NIL
Priority Notices	NIL
Notations on Plan	NIL
Registrar-General's Notes	NIL
Administrative Interests	NIL



THIS PLAN IS SCANNED FOR CERTIFICATE OF TITLE 3854/94

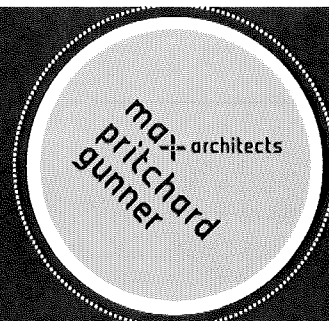


20 10 0 20 CHAINS

DISTANCES ARE IN LINKS
FOR METRIC CONVERSION
1 LINK = 0.201168 METRES
1 CHAIN = 100 LINKS

NOTE: SUBJECT TO ALL LAWFULLY EXISTING PLANS OF DIVISION

MAX PRITCHARD GUNNER ARCHITECTS pty ltd
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PO BOX 808, Glenelg, SA 5045
T +61 8 8 376 2314
admin@mpgarchitects.com.au
www.mpgarchitects.com.au



24/05/2017

Simon Nelder
Team Leader- Development Assessment
Investment Manager/ Developer Division
Department of Planning, Transport and Infrastructure
GPO Box 1815
ADELAIDE SA 5001



Re: Proposed Development:
Subject land:

Proposed tourist accommodation
Lot 848, North Grant Rd, Middle River, Kangaroo Island

Dear Simon

Following on from our discussions last year we wish to make a formal submission for the above

Please find attached.

- Letter /Report from George Manos of Botten Levimson.
- Development Application form.
- 3 sets of Drawings.
- Survey
- Application form and drawings for waste water treatment.

Please contact George or myself if you have any queries.

Please notify me of fees required.

Yours faithfully,

Max Pritchard

Our ref: GM/215180

12 May 2017

Mr Simon Neldner
Team Leader - Development Assessment
Investment Manager/Development Division
Department of Planning, Transport and Infrastructure
GPO Box 1815
ADELAIDE SA 5001

By email: simon.neldner@sa.gov.au

Dear Mr Neldner

Development Application - Proposed tourist accommodation – Middle River, Kangaroo Island

I refer to earlier discussions regarding the above. My client, (Goelia Pty Ltd and its directors), wish to develop a stunning tourist accommodation development at their property at Middle River, Kangaroo Island.

Vision and Background

The land has frontage to the northern coast of Kangaroo Island, and is immediately to the east of the outlet of the Middle River. The land enjoys glorious views over the Middle River outlet, the coastal waters of Kangaroo Island and beyond. The land itself is very picturesque. The Middle River flows through and also in part forms part of the eastern boundary of the land.

My clients wish to establish a seven star tourist accommodation - literally fit for a king! Very careful consideration has been paid to the location of the proposed building so as to maintain the native vegetation on the land and to take advantage of the views, both of the coast, the Middle River outlet and the land itself. This is emphasised by the design of the dwelling and the extensive use of glass. The "centre of the building" retains significant landscaping with the building "enclosure" having been cleverly designed so as to retain that vegetation thus adding to the amenity for the guests who will stay in the building.

It is acknowledged that the precise location on which the building is to be established is towards the higher portion of the land and thus may be visible from some areas to the south-west of the land. However, those views will be distant views and will be softened by additional landscaping that is proposed to be established.

So as to ensure the success of this multi-million dollar development, it is essential that the siting of the dwelling takes place in the nominated location.

Level 1 Darling Building
28 Franklin Street, Adelaide
GPO Box 1042, Adelaide SA 5001
t. 08 8212 9777
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e. info@bllawyers.com.au
www.bllawyers.com.au

There is little point in putting forward such a high quality development if the full benefit of the land and its unique features cannot be taken advantage of and fully enjoyed, particularly the outstanding sea and coastal views.

DA Details

Accompanying this letter is a Development Application seeking Development Plan Consent for a tourist facility at North Coast Road, Middle River, Kangaroo Island. Plans of the proposal accompany this application.

Relevant authority

Pursuant to clause 18 of schedule 10 of the *Development Regulations 2008*, the Development Assessment Commission is the relevant authority for the purpose of tourism development in the Coastal Conservation Zone on Kangaroo Island.

Development Plan Assessment

The land is in the Coastal Conservation Zone - Zone Map KI/7. Not surprisingly, the Objectives for the Zone seek to enhance and conserve the natural features of the coast and also to provide for low intensity recreational uses. The Desired Character, in part, reflects those Objectives.

However, the Development Plan also recognises the important role that the coastal environment plays in respect of the Kangaroo Island economy and the tourist attraction provided by the coastal environment, the coastal scenery, wildlife etc. On that basis, the Desired Character expressly recognises the provision of facilities including tourist accommodation may be established within the Zone provided they are sited and designed in an appropriate manner. Siting will be discussed in some detail below. Further, the Desired Character seeks to minimise any adverse impacts on the natural features, landscapes habitats etc. Again that topic is discussed below.

The Desired Character then goes on to provide further commentary in relation to the form of tourism development, which it is not proposed to be discussed in any detail. However, it is noted that the design/siting of the tourist accommodation should raise consciousness and appreciation of the natural rural coast surrounding. Again that topic is discussed below but it is clear, given the features of the land, and the chosen site for the development, any person using the facility will gain an unprecedented appreciation of the magnificent features and views available of the land together with the features of the land itself with its wildlife and natural vegetation, its riverine environment and other features.

PDC 1 for the Zone specifically envisages tourist accommodation within the Zone. Under the heading Form and Character, PDC 7 is relevant to the proposal. The proposal will not adversely affect the coastal frontage of the land given the location of the facility, and no access is proposed to be taken to the coast, it will minimise access points noting that there are existing access points to the land and there is an vehicle existing track to the proposed site of the proposed facility. Further, the site will be landscaped with locally indigenous plant species – again discussed in more detail below – and the building will use appropriate low reflective materials and finishes so as to blend in with the landscape. PDC 8 nominates a height limit of 6.5m above natural ground level which is achieved in relation to the proposal. Further, the materials and colours will harmonise with the natural environment. Thus not only is PDC 8 is satisfied but also PDC 12 as well.

The significance of tourism is further recognised under the heading “Tourism Development”. There are many Objectives and many Principles within that section of the Council’s Development Plan. Again, it is not proposed to discuss those Principles in detail.

The facility will be of the highest quality hitherto not seen in Australia, save for perhaps the Southern Ocean Lodge. However, the proposal is more exclusive in the sense that it is designed for generally a single family or perhaps two families which provides significant privacy and a greater opportunity to experience the unique features of the land and its surrounds.

The proposal has been designed and sited such that it complies with the PDC 11 in that it does not exceed 6.5m in height above the natural ground level and will be set back 100m from the high watermark and cliff faces. The location provides sweeping views over the coast and the Middle River outlet but because the site of the building is largely free of native vegetation, it also complies with the other parameters in PDC 11. That said, some significant vegetation is established on the site of the building which has been designed so as to maintain that vegetation within the “centre” of the building. The internal glazing provides opportunity to view that vegetation thus adding to the amenity to be enjoyed by the guests.

Finally it is noted that within the zone tourist accommodation is non-complying in certain policy areas or precinct areas. However the land is not in any of those areas and therefore the application for this tourist accommodation is a consent/on-merit application.

When one considers the Development Plan overall and the more detailed discussion below, it is submitted that the application is one that is in sufficient compliance with the relevant provisions of the Development Plan so as to warrant the grant of Development Plan Consent.

Incidental Matters

A number of matters incidental to the application were discussed at the meeting at the offices of DPTI in 2016. At that meeting, it is fair to say there was considerable Council support for the project, albeit generally.

Native Vegetation/DENR

It is understood that officers of the Council and DENR visited the site and were able to view the land generally and the surrounding locality. I am instructed that following that inspection, officers were generally supportive of the proposal and no issues of any significance were raised. In this context, the issue of glossy black cockatoos had been raised, which were said to be nesting in the sheoaks on the land. However, the sheoaks have, by and large, been planted by my clients, consistent with the existing type/form of native vegetation found on the land/locality. It is not expected that the addition of this building, noting there are already a number of buildings on the land, will have any or any significant impact on the habitat of the glossy black cockatoo. Furthermore, additional sheoaks and other native vegetation will be established. No issues seem to have arisen in relation to the sea eagles, it being understood that that there are no sea eagles in the immediate vicinity. The issue of osprey was also raised. Again there are no osprey in this area.

Potable water

Advice has been taken from Ron Selth & Associates, who have vast experience in waste water engineering, structural matters and wastewater management.

The advice from Ron Selth & Associates is that all the roof water can be collected and stored on the land in tanks having a minimum capacity of 100,000 litres. The tanks are to be located underneath the building. The underground tank(s) will not have any impact on the finished height of the proposal noting that the building will maintain a roof height of 6.5 approx metres above natural ground level.

Elevation image

The design of the dwelling makes liberal use of glazing so as to ensure maximum views from the building, for all guests. Whilst in a sense the location is on the higher portion of the land (as noted above) the building will only be visible from very limited locations on the Island, which will in any event be distant views, and also from out to sea. Further as discussed, additional plantings are proposed which will to the extent necessary soften the impact of the building when viewed from the south west. In that regard, it is understood that any public viewing points are about 3 kilometres away and at that distance, the building will be but a small element in the vast landscape. The landscaping within the centre of the building, will be retained and provide an immediate “backdrop” for the dwelling. The significant additional plantings will be irrigated by the wastewater system proposed to be established. Further my clients have demonstrated, through their actions to date, that they will establish as much native vegetation as possible, whilst maintaining the existing vegetation.

The external hard finishes of the dwelling will incorporate colours and materials that are non-reflective and be of urban earthen tones. At this stage mid greys or other similar colours will be considered. As occurs naturally on the site, stone will be used for the solid portions of the proposed building.

The glass that will be used will reduce any reflection. The windows will also be shaded so as to reduce reflection.

The issue of bird strike sometimes arises in a consideration of glazed buildings. However, at the Southern Ocean Lodge, this has not proved to be an issue noting that that building is some 100 metres from the coast. If necessary products can be applied to reduce this risk.

Further, Max Pritchard has vast experience in designing many buildings with a high level of “transparency”, and indeed has lived in one for some 30 years. Bird strike is not an issue with transparent buildings, as long as reflective glass is not used.

Dam/Water

A large dam has already been approved on the land and now completed. It is proposed that an additional dam will also be established in the fullness of time. However, the underground water tank will provide a generous supply of potable water and the wastewater will provide irrigation for the landscaping proposed to be established.

Approval has been obtained to allow for pumping of water from the Middle River to supplement water storage.

A London plug will be provided to the underground tank to enable CFS connection.

Tourist accommodation

As you are aware, there are a number of existing buildings on the land. Council has approved tourist accommodation in one of the dwellings on the land.

Thus what is proposed is simply to extend the lawful use of the land for tourist accommodation (together with the other existing uses) via this grand new building. Further approval has been obtained to upgrade an existing building to a café and gallery for local artists.

The building obviously is going to appeal to a limited section of the community because of the tariff. Bookings are proposed to be taken via a booking agent established on Kangaroo Island and via my clients' contacts in China. My clients have a strong base in China but also having very strong links with Kangaroo Island. It is expected that the facility will be marketed on the internet as an "exclusive luxurious tourist accommodation facility" where the tariff is likely to be in excess of \$6,000 per day. There are many people in China and other parts of the world who are well able to pay for such premium accommodation. In that regard, the development proposes accommodation at a grander level than that available at the Southern Ocean Lodge which of course is not inexpensive but has proved to be very successful because of the design and the nature of accommodation that it provides, together with the location. In that regard, it is noted that Max Pritchard is the principal designer of the proposed development and Mr Pritchard was the principal architect for the Southern Ocean Lodge. Southern Ocean Lodge was recently named by Travel & Leisure Magazine as the 4th best hotel in the world!

The upgrade of the airport on Kangaroo Island is about to commence which will further promote tourism accommodation on Kangaroo Island and make the proposed development a success. In any event, it needs to be understood that the Southern Ocean Lodge has hosted some very prominent guests who have been able to enjoy the benefits of Kangaroo Island with anonymity. The natural features of Kangaroo Island will be made available on a broader, albeit on an exclusive, basis but nonetheless will provide a facility hitherto not seen in South Australia and indeed Australia.

Consistent with the tourist accommodation facilities and my clients' genuine desire to reinforce the benefits of Kangaroo Island, they have purchased the Chapman River Winery located near Penneshaw. Those products obviously will be promoted at the proposed tourist accommodation facility.

Adding to the features on the land, it is proposed to ultimately establish boardwalks, a wetland, informal walking trails, viewing points and the planting of additional sheoaks and other native vegetation as part of the facility.

Business Plan - promotion of the facility

The Kangaroo Island Airport is being upgraded making it more accessible for travellers. However the current facility has not restricted prominent guests arriving via their own private jet on the Island.

Further my clients have informally discussed the project with certain sectors of the Chinese market and have no doubt that the facility will be successful, in the same way that Southern Ocean Lodge has been successful. Of course Southern Ocean Lodge is not just for guests/tourists from China. It hosts guests from all around the world including many Australians. Whilst there will be an added cost to stay at the facility, it will prove to be equally successful. It provides luxurious accommodation and privacy. Further by use of promotion via on-going digital innovation, the facility will become known world wide. The highly regarded features of Kangaroo Island will be further promoted and shared more broadly.

Provision of services

Wastewater and Power

As mentioned above, a substantial wastewater system will be designed and installed under the direction of Ron Selth. Water will be collected from the roof area and stored in the very large underground tank(s). Power is proposed to be provided by way of photo voltaic panels established on the roof. The roof is largely flat and therefore the panels will not be visible. A plant room will be established housing a battery storage system, using perhaps the Red Flow system developed locally in SA whereby power generated by the PV panels can be stored for later use.

Water is permitted to be pumped from the Middle River to supplement the Dam if necessary.

Bushfire

The location of the dwelling has been chosen not only by reason of its ability to provide extensive views, but also its precise location is relatively clear of vegetation. However, the existing vegetation is to be retained within the “centre” of the dwelling together with the vegetation to the South of the dwelling.

An access track already exists so as to provide vehicular access to the particular site. It is not expected that there be any or any substantial increased risk of bushfire but provision is to be made for fire fighting purposes to enable access to the underground tank in the event that fire threatens the building and surrounds.

Furthermore, there will be a dedicated firefighting supply located at the new dwelling site providing all the appropriate fittings and take off points to service the requirements of the CFS. There will be two dams on the land. The Middle River carries water throughout the year passes through the land and water can also be collected from that source in any emergency. The London plug allows for CFS coupling.

Tracks

The existing tracks on the land will be used to access the proposed dwelling. Some upgrade will be required but tracks are already established on the land on limestone. They carefully make their way through the vegetation following the contours thus minimising the cut to the land and not impacting on the vegetation. Some grading and some minor additional rubble will need to be provided on site.

Visual perspectives

As discussed above, substantial vegetation is to be planted on the land with local species. The applicants are currently in the process of converting some of the “pastoral areas” with additional landscaping. The architects have provided a perspective of the dwelling showing some of the landscaping which gives some context of what is proposed. It is understood that this part of the Island receives higher rainfall and thus it is reasonably anticipated that the additional plantings will be able to quickly develop. Wastewater will be directed to the additional landscaping. Further, the land is adjacent to the Middle River which carries water all year round (and can be used to supplement the dam). Thus the perspective gives a reasonable indication as to how the proposed development will integrate with the natural environment and the landscape.

Construction Management

The choice of builder is yet to be determined but it is likely that local contractors will be engaged noting that the architects have undertaken projects with local contractors who have the capacity to establish a high quality development. However, that is not to say that only local contractors will be employed.

The construction will be overseen by Max Pritchard Gunner, Architects. Although the architects are based in Adelaide, they propose to be on site regularly during construction. It is noted that Max Pritchard was born and raised in Kangaroo Island and has overseen the construction of a number of buildings on the Island including Southern Ocean Lodge.

Servicing the Facility

There is an existing three bedroom cottage on the land and it is proposed that the staff who will provide exceptional quality services to the facility and its guests will occupy the cottage.

It is anticipated that locals will be engaged in the overall product which includes cleaners, gardeners, the growing of produce, drivers etc. Other local producers will be used to source wherever possible local Kangaroo Island products as it is desired to service the facility with Kangaroo Island products wherever possible, i.e., so that it is self sustainable via the range of goods and products available on Kangaroo Island.

Through this process, Kangaroo Island produce will be promoted which will ultimately add to the promotion of Kangaroo Island, South Australia and Australia both as an export resource and as a tourist destination.

Caretaker

It is proposed a caretaker will reside on site in one of the existing dwellings. The caretaker will oversee the operations of the facility and will be responsible for co-ordinating the staff, overseeing the gardens and the property itself, attending to or arranging various odd jobs that will arise from time to time etc.

Vehicular access to the Land

The Directors of my client visit Kangaroo Island on a reasonably frequent basis. They have established vehicles on the land. Those vehicles will assist guests who will be collected from the airport and taken by private vehicle to the proposed tourist accommodation facility. Tours of the Island will be organised by both those people and local operators.

Employment opportunities and Island Promotion

It is expected that a number of part time and full time jobs will be created. Thus there will be “spin off” benefits to the balance of the Island by introducing the guests to local produce and businesses from where products are sourced/made.

Maintenance of the natural character and ambience

One of the most important goals in establishing the facility is to introduce the opportunity for this exceptionally high quality accommodation to blend in seamlessly with the natural character of the area and not interrupt the ambience of the land. It will facilitate exposure to the unique qualities on offer on Kangaroo Island including specifically the site chosen. This aspect has been discussed above.

The land is reasonably isolated and offers exceptional amenity to the guests by way of views and the setting of the land itself which will be enhanced by additional vegetation. The intent is to achieve an appropriate balance between the built form development and the natural character of the area so that the interests of the guests are balanced with the interests of the natural character of the area. This balance will provide a unique and most rewarding opportunity for the guests to be accommodated on site.

The facility will of course provide an alternative to the Southern Ocean Lodge but will provide greater privacy and anonymity together with a greater opportunity to “connect with nature” in an unparalleled setting.

Conclusion

The proposed development is intended to be the most exclusive tourist destination in South Australia and arguably Australia. It will be promoted in that way both locally, nationally and internationally. The proposal has the real opportunity to expose Kangaroo Island to more international guests and will provide them with a unique and rewarding experience to fully enjoy the experience offered by the land itself, the facilities proposed thereon and Kangaroo Island overall.

The upgrade of the Kangaroo Island Airport will assist in making the land more accessible. Visitors are also expected to visit Adelaide and other parts of South Australia (and Australia) given the close proximity of Kangaroo Island to Adelaide.

The proposed development offers the unique opportunity to put South Australian tourism on the world map, noting the facility will not be available to everyone (because of its tariff). However, it provides a real opportunity for guests to promote the qualities of Kangaroo Island, South Australia and Australia.

The proposed development is a unique opportunity and its establishment is very much in the interests of the State as a tourist destination and which facility will no doubt grow the economy of Kangaroo Island and South Australia.

Having regard to the above, and the relevant provisions of the Development Plan, the proposed development is one that ought to be supported.

Categorisation

I note that pursuant to the Zone provisions under the heading ‘procedural matters’, sub-heading ‘public notification’ that tourist accommodation is a Category 2 development.

Yours faithfully



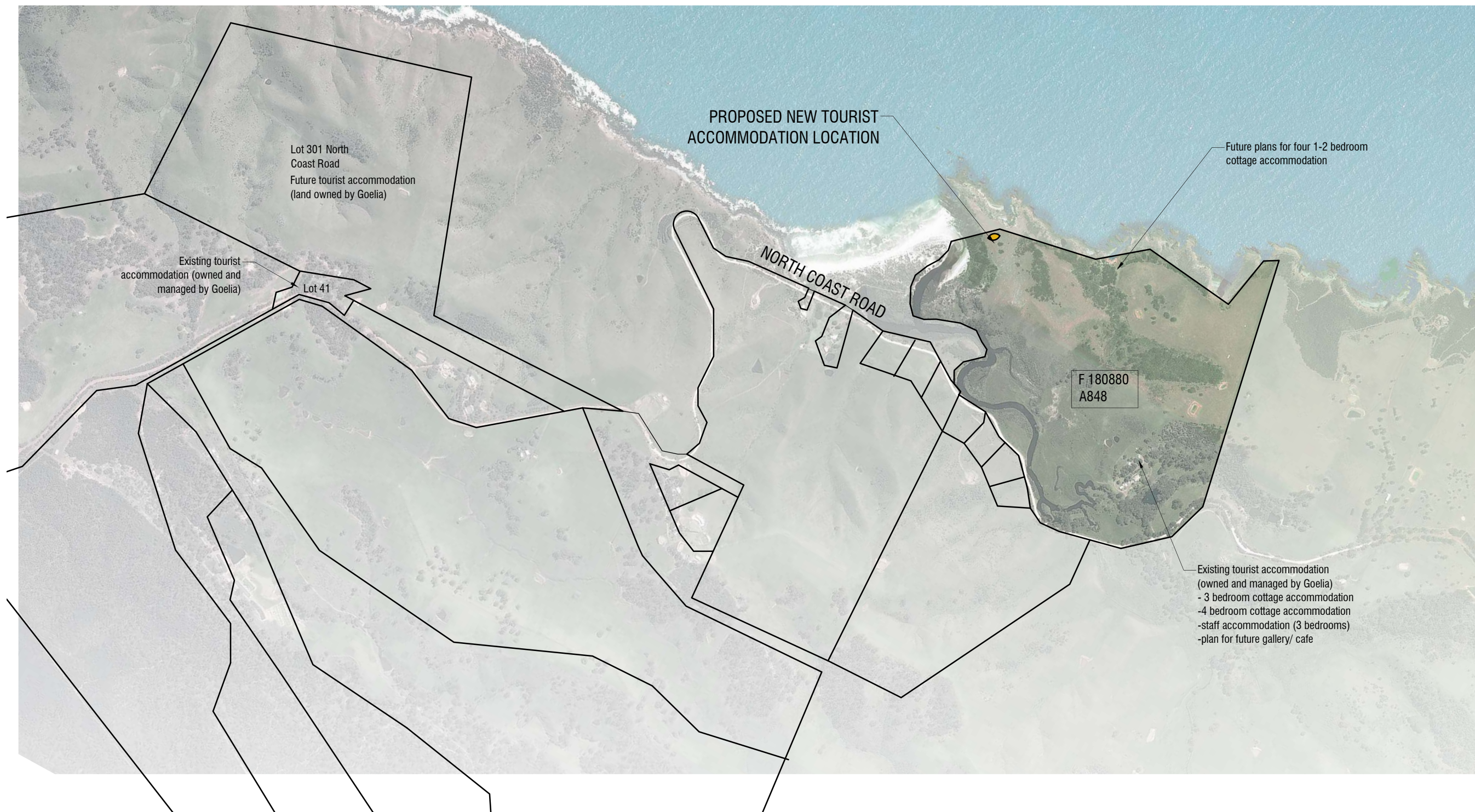
George Manos
BOTTEN LEVINSON
Email: gm@bllawyers.com.au

MIDDLE RIVER

TOURIST ACCOMMODATION

22/12/215

ma+architects
pritchard
gunner



LOCATION PLAN
NTS

T +61 8 8376 2314
max@mpgarchitects.com.au
PO Box 808, Glenelg SA 5045
www.mpgarchitects.com.au

max
pritchard
gunner architects

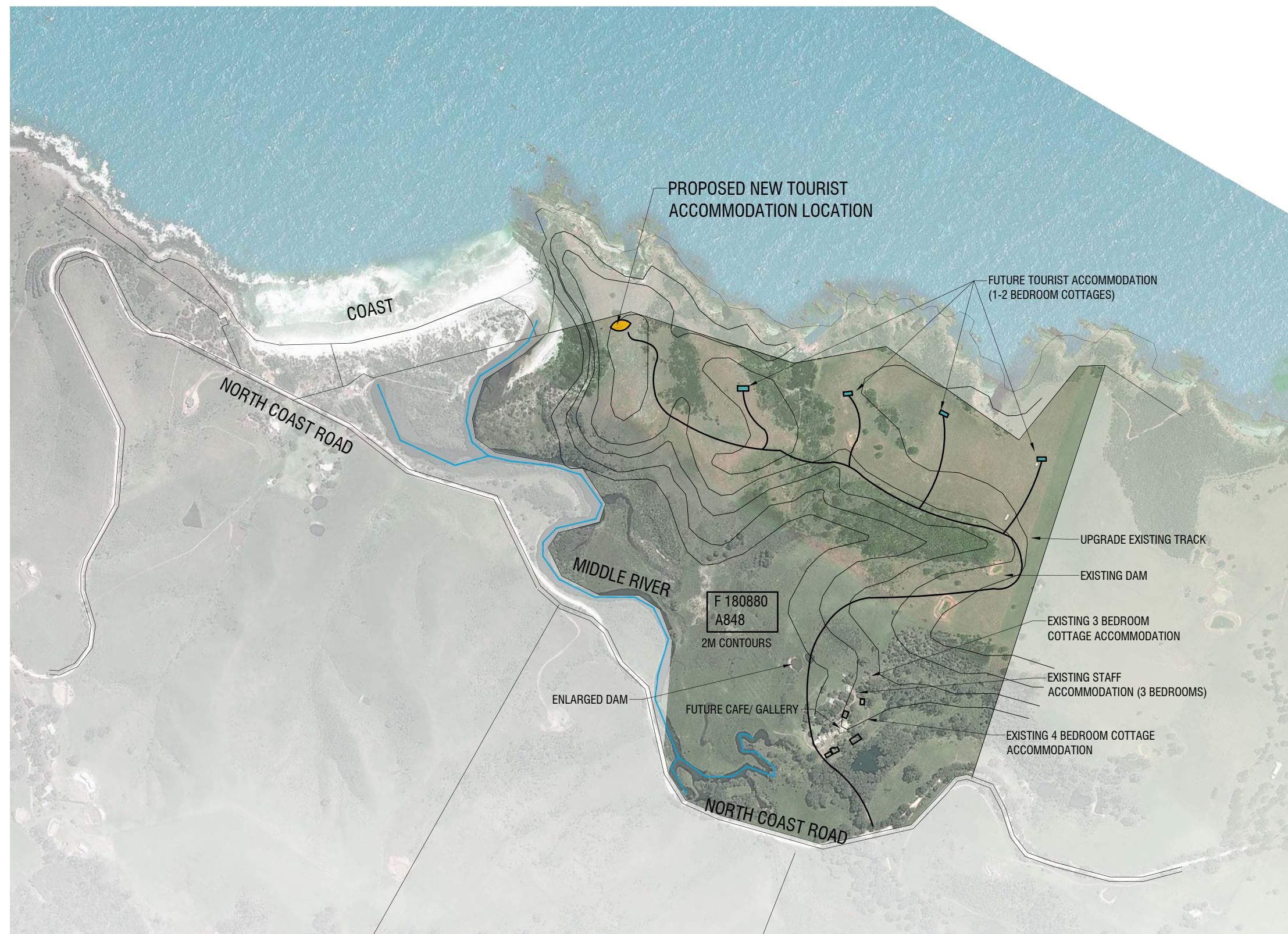
Proposed
Tourist
Accommodation

for

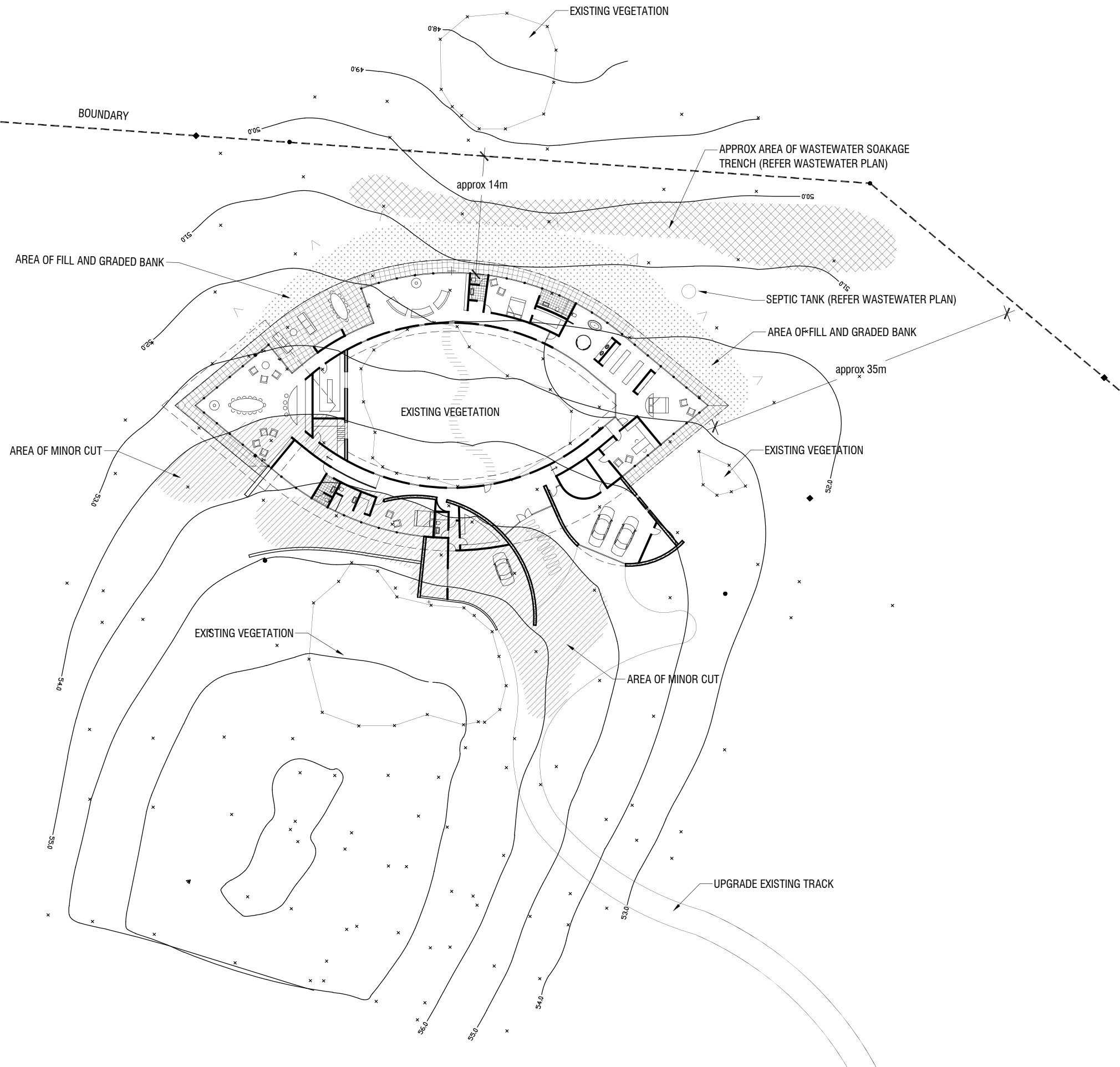
Goelia Ltd

Middle River
Kangaroo Island

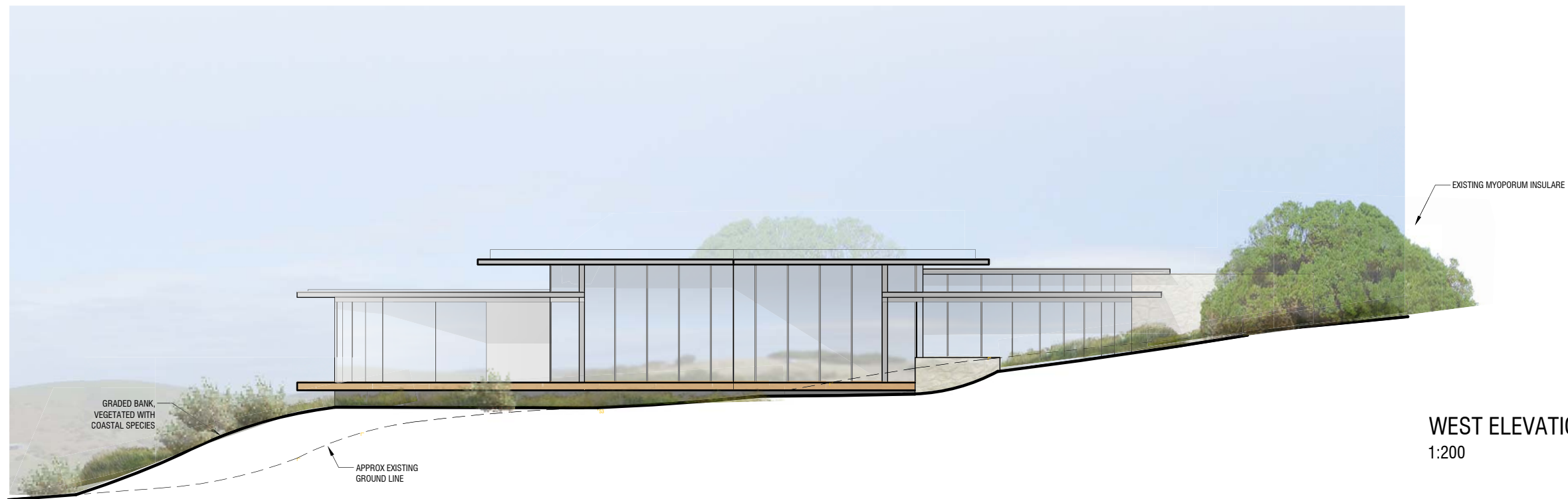
May 2017
582- S - 01



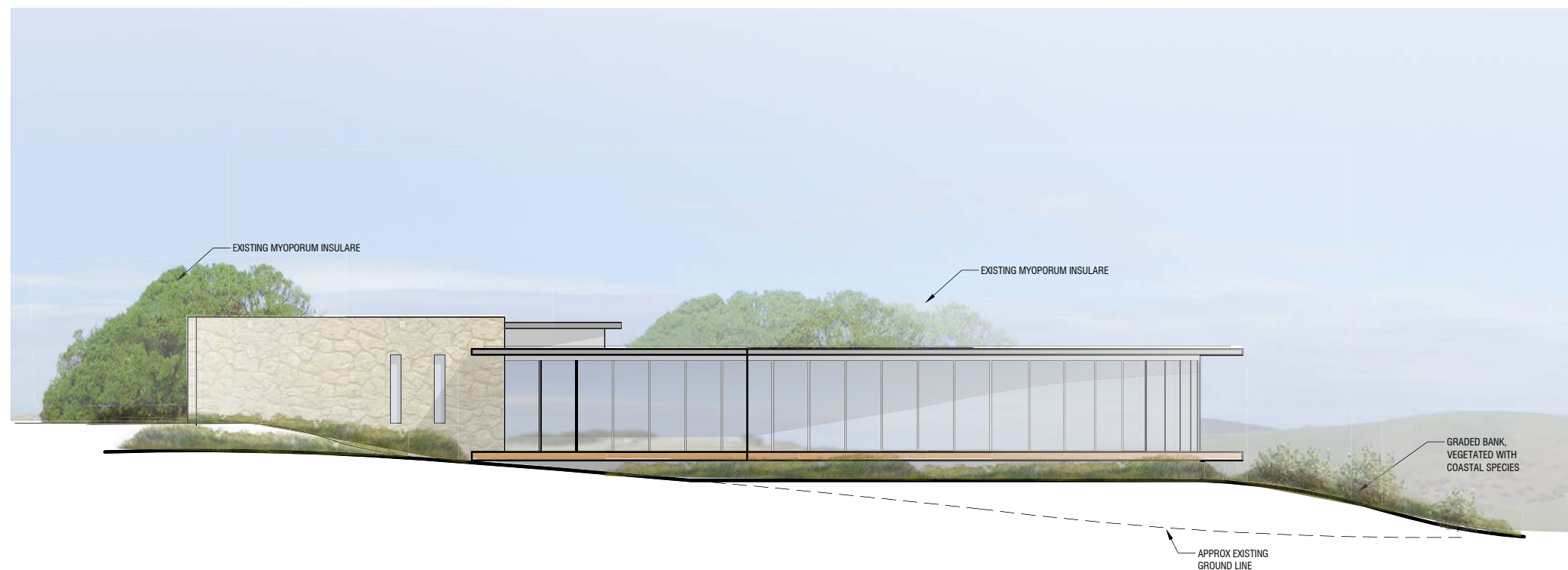
LOCATION PLAN
1:10000



May 2017
582- S - 03



WEST ELEVATION
1:200



EAST ELEVATION
1:200

MATERIALS

Roof: Steel Colorbond Windspray
Walls: Local Stone
Windows: Aluminium

T +61 8 8376 2314
max@mpgarchitects.com.au
PO Box 808, Glenelg SA 5045
www.mpgarchitects.com.au

max
pritchard
gunner architects

Proposed
**Tourist
Accommodation**
for
Goelia Ltd
Middle River
Kangaroo Island

May 2017
582- S - 05



NORTH ELEVATION
1:200



SOUTH ELEVATION
1:200

MATERIALS
Roof: Steel Colorbond Windspray
Walls: Local Stone
Windows: Aluminium



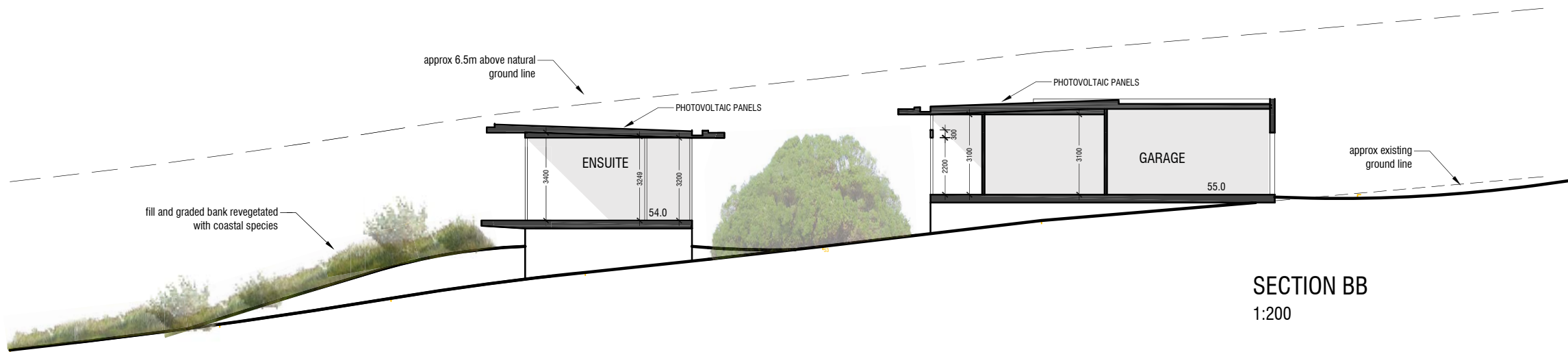
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Proposed
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Middle River
Kangaroo Island

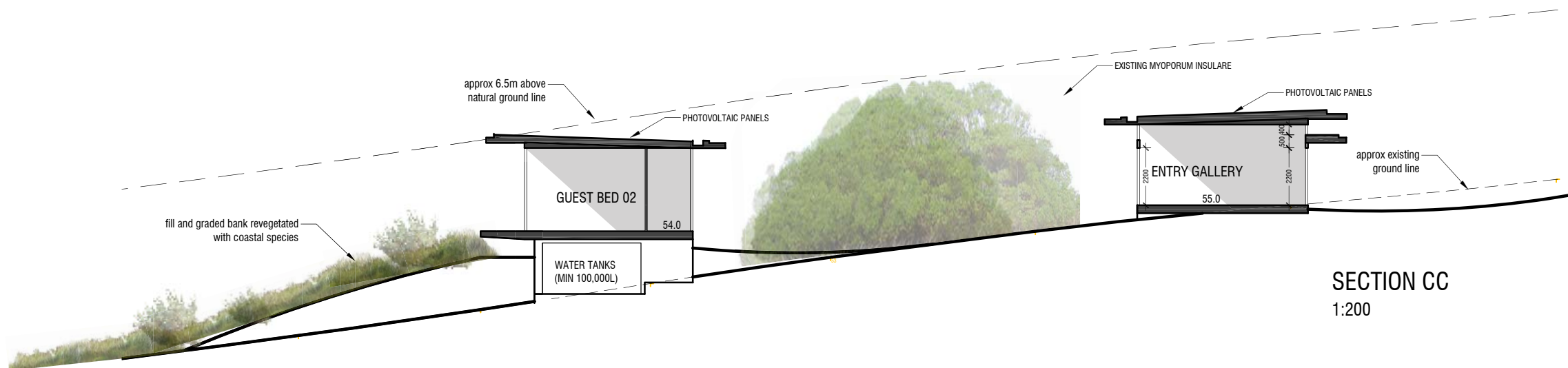
May 2017
582- S - 06



SECTION AA
1:200



SECTION BB
1:200



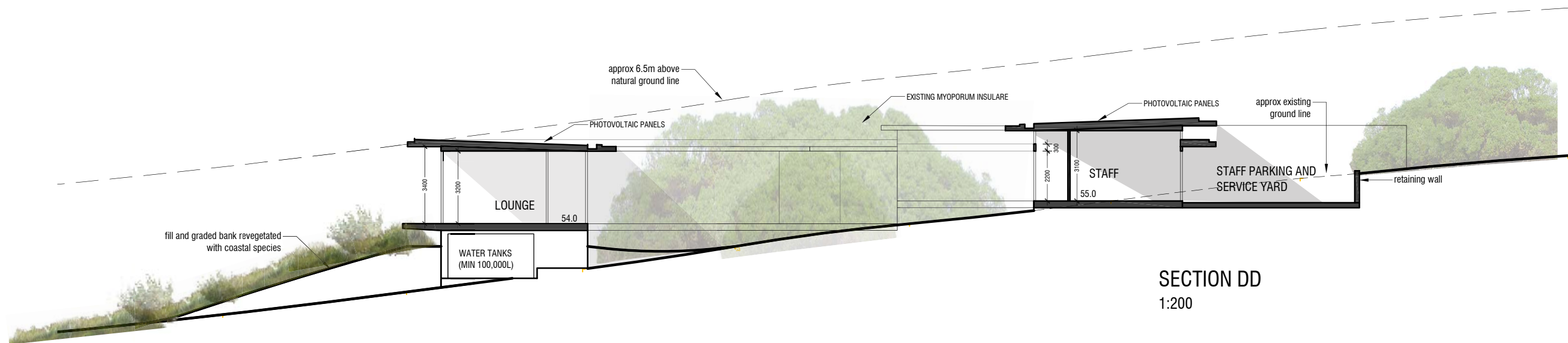
SECTION CC
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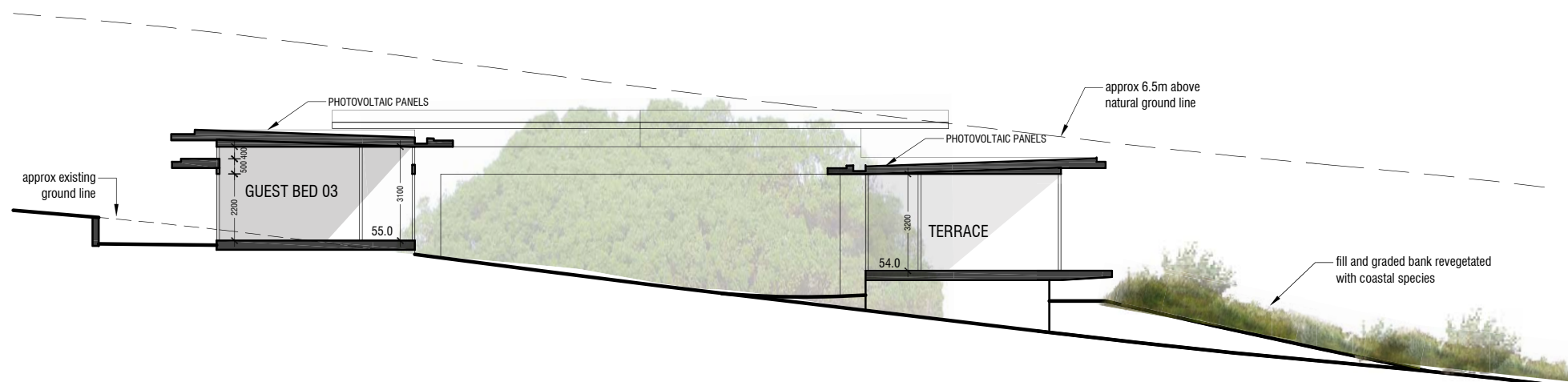


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for
Goelia Ltd
Middle River
Kangaroo Island

May 2017
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SECTION DD
1:200



SECTION EE
1:200

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for
Goelia Ltd

Middle River
Kangaroo Island

May 2017
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SOUTH WESTERN PERSPECTIVE

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Kangaroo Island

May 2017
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NORTH WEST PERSPECTIVE

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Proposed
**Tourist
Accommodation**
for
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Middle River
Kangaroo Island

May 2017
582- S - 09

SITE SPECIFIC NOTES

DESIGNED FOR A NEW HOUSE/TOURIST ACCOMMODATION, WITH A DIR 4.5mm/day MODIFIED TO 3.6mm/DAY ACCOUNTING FOR SLOPE.

THIS SITE HAS ACCESS TO RAINWATER.

DESIGN IS BASED UPON SITE PLAN PROVIDED BY CLIENT.

GENERAL NOTES

SPRINKLER IRRIGATION SYSTEM DESIGNED TO BE MINIMUM 1.5m FROM BUILDINGS, MINIMUM 0.5m DOWN SLOPE FROM ALLOTMENT BOUNDARIES, 1.5m UP SLOPE FROM ALLOTMENT BOUNDARIES & MINIMUM 1.5m FROM WASTEWATER TREATMENT PRODUCTS.

AEROBIC TREATMENT TANK DESIGNED TO BE MINIMUM 3m FROM BUILDINGS & BOUNDARIES, AND 1.5m FROM SURFACE OR SHALLOW SUBSURFACE IRRIGATION AREAS.

ANY WATERCOURSES, WELLS, BORES, AND DAMS USED OR LIKELY TO BE USED FOR HUMAN OR DOMESTIC PURPOSES ARE OVER 10m FROM THE PROPOSED AEROBIC TREATMENT SYSTEM LOCATION AND OVER 50m FROM THE PROPOSED WASTEWATER IRRIGATION AREA.

THIS DESIGN ACCOUNTS FOR 100m² OF RECREATIONAL AREA BASED ON SITE LAYOUT VERIFIED BY CLIENT.

EVEN DISTRIBUTION OF EFFLUENT IS ACHIEVED THROUGH THIS SPRINKLER IRRIGATION DESIGN.

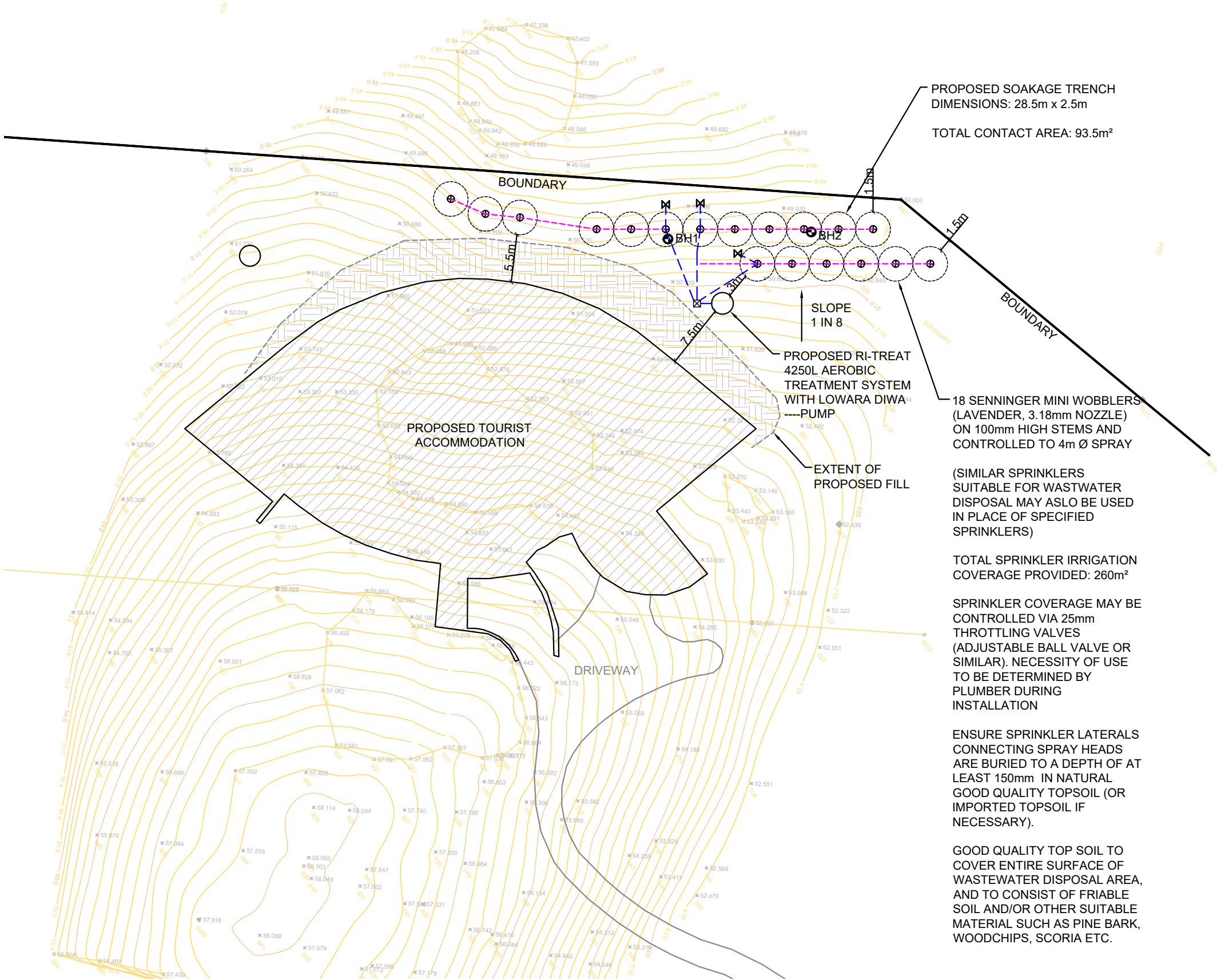
ENSURE SIGNAGE IS PRESENT TO INDICATE PRESENCE OF TREATED WASTEWATER (REFER TO NOTE.

ALL DIMENSIONS AND OFFSETS TO BE VERIFIED ON SITE.

ENSURE MIN. 1 IN 60 FALL FROM HOUSE TO AEROBIC SYSTEM

LEGEND

- 25mm FLUSH VALVE (BALL VALVE)
- BOREHOLE LOCATION
- 40mm LILAC HIGH DENSITY POLYTHYLENE SUPPLY LINE
- 25mm POLY/PVC DISTRIBUTION LINE
- SPRINKLER HEAD
- K-RAIN 3 ZONE INDEXING VALVE (OR EQUIV.)



PROPOSED SOAKAGE TRENCH
DIMENSIONS: 28.5m x 2.5m
TOTAL CONTACT AREA: 93.5m²

PROPOSED RI-TREAT
4250L AEROBIC
TREATMENT SYSTEM
WITH LOWARA DIWA4
PUMP

18 SENNINGER MINI WOBBLERS
(LAVENDER, 3.18mm NOZZLE)
ON 100mm HIGH STEMS AND
CONTROLLED TO 4m Ø SPRAY

(SIMILAR SPRINKLERS
SUITABLE FOR WASTEWATER
DISPOSAL MAY ASLO BE USED
IN PLACE OF SPECIFIED
SPRINKLERS)

TOTAL SPRINKLER IRRIGATION
COVERAGE PROVIDED: 260m²

SPRINKLER COVERAGE MAY BE
CONTROLLED VIA 25mm
THROTTLING VALVES
(ADJUSTABLE BALL VALVE OR
SIMILAR). NECESSITY OF USE
TO BE DETERMINED BY
PLUMBER DURING
INSTALLATION

ENSURE SPRINKLER LATERALS
CONNECTING SPRAY HEADS
ARE BURIED TO A DEPTH OF AT
LEAST 150mm IN NATURAL
GOOD QUALITY TOPSOIL (OR
IMPORTED TOPSOIL IF
NECESSARY).

GOOD QUALITY TOP SOIL TO
COVER ENTIRE SURFACE OF
WASTEWATER DISPOSAL AREA,
AND TO CONSIST OF FRIABLE
SOIL AND/OR OTHER SUITABLE
MATERIAL SUCH AS PINE BARK,
WOODCHIPS, SCORIA ETC.

WASTEWATER
DISPOSAL PLAN

RON SELTH & ASSOCIATES PTY LTD, CONSULTING ENGINEERS

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55 Hill St, Crafers West 5152

Phone: 8339 8398

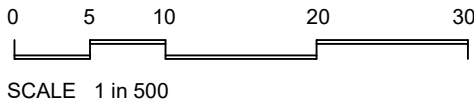
Mob: 0418 818 303

Email: ronselth@bigpond.com

Structural design

• Soil and Footing Reports

• Wastewater Assessments



DESIGNED BY: SY DATE: 4/03/16
APPROVED BY: RS

JOB NUMBER: W1272
CLIENT: GOELIA LTD
SITE ADDRESS: LOT 848 NORTH GRANT ROAD
KANGAROO ISLAND
COUNCIL: KANGAROO ISLAND
SCALE: 1 IN 500(at A3)



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Email: ronselth@bigpond.com

Structural design • Soil and Footing Reports • Wastewater Assessments

Job Number: W1272

Date: 18/04/16

**Goelia Ltd
c/o MPG Architects (M. Pritchard)
PO Box 808
Glenelg 5045**

ASSESSMENT FOR ON-SITE DOMESTIC WASTEWATER MANAGEMENT

Percolation Estimate via Indirect Method

in accordance with Onsite Wastewater Systems Code April 2013

Site Location: Lot 848 North Grant Road, Middle River, KI
Proposed System: Taylex ABS 10EP Treatment System with Sprinklers

The climate at this site is mild temperate and annual evaporation is at least double that of precipitation.

Borelog shows brown/grey silty clayey sand to approx. 300mm over red-brown/yellow/white silty sandy clay with some lime to approx. 1220mm over brown/yellow/grey silty sandy clay with sandstone fragments to depth.

The specified wastewater system for this site will cater to hydraulic loads from proposed tourist accommodations for up to 7 visitors staying intermittently, and 2 working staff.

This site is large and alternate wastewater disposal areas are available if needed.

The proposed sprinkler irrigation zone is greater than 50m from any watercourse, bore, well or dam.

Following the assessment of soil cores taken, the site is considered suitable for a long-term aerobic treatment system with sprinkler irrigation.

The attached Wastewater Design Worksheet shows the sprinkler irrigation requirements.

Further note that any site waters (roof and overland flow) should be diverted past or away from the soakage zone.

Yours faithfully,

R. Selth M.I.E.Aust CPEng



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Job Number: W1272

Date: 18/04/16

EFFLUENT DISPOSAL SYSTEM (ONSITE/SUBSURFACE) SITE ASSESSMENT CRITERIA SHEET

Goelia Ltd

Lot 848 North Grant Road, Middle River, KI

- | | | |
|----|---|---------------------------|
| 1. | <u>Land Slope</u>
(Not to be greater than 20% (1 in 5)) | Approx. 1 in 8
----- |
| 2. | <u>Distance to watercourse</u>
(Minimum 50 metres) | >>50m
----- |
| 3. | <u>Flooding</u>
(Not subject to inundation more frequently than 1 in 10 years) | Not Subject To
----- |
| 4. | <u>Seasonal Water Table</u>
(Depth to water table should be greater than 1.2 metres) | > 1.2m
----- |
| 5. | <u>Bedrock</u>
(Depth to bedrock should be greater than 1.2 metres) | > 1.2m
----- |
| 6. | <u>Land Area Available</u>
(Indicate area available for use) | Large rural site
----- |
| 7. | <u>Soil Characteristics</u> (if not included in separate report)
(Detail colour, texture, structure, cohesion etc) | See Soil Borelog
----- |
| 8. | <u>Availability of Water</u>
(Mains or rainwater) | Rainwater Only
----- |
| 9. | <u>Soil Permeability</u>
(Method used to assess percolation rate) | |

Indirect method: **Boreholes** (2)

Direct method:

Note: Indirect method requires a minimum of two (2) boreholes taken from the proposed effluent disposal area to a depth of three (3) metres or at least 500mm below the intended depth of the disposal system.

Note: Direct method requires a preliminary site and soil investigation to be undertaken to determine depth of disposal system and the soil horizon best suited for long term percolation.

Description of soil layers in each bore hole must be included and the location of the boreholes indicated.

Soil Classification: SC/SM over CL over CL/GP

DIR Assessed at 4.5mm/day modified to 3.6mm/day accounting for slope



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Job Number: W1272

Date: 18/04/16

WASTEWATER DESIGN WORKSHEET SPRINKLERS

Goelia Ltd

Lot 848 North Grant Road, Middle River, KI

System:	Taylex ABS Treatment System (or equivalent system)
Water Supply:	<u>Rainwater Only</u>
Daily flow rate:	$(7 \times 125) + (2 \times 30) = 935 \text{ L/p/d}$
Unmodified DIR:	4.5mm/day
DIR accounting for 1 in 8 slope:	3.6 (20% reduction)
Required irrigation area:	260 m ²
Major feed lines:	40mm OD lilac Poly (metric)
Minor feed lines:	25mm lilac Poly (rural)
Lateral spacing:	4m
Sprinkler spacing:	4m c/c per lateral
Sprinkler type:	Senninger Mini Wobbler (Lavender, 3.18mm nozzle) (Or similar sprinklers suitable for wastewater disposal)
Sprinkler coverage diameter:	4m
Number of sprinklers required:	18



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Job Number: W1272

Date: 18/04/16

WASTEWATER DESIGN WORKSHEET SPRINKLERS

Goelia Ltd

Lot 848 North Grant Road, Middle River, KI

Sprinkler type	Senninger Mini Wobbler, Purple Nozzle, 3.18mm
Pump	Davey D25A

Wastewater disposal zones	1	
Sprinklers per zone	6 approx.	
Total number of sprinklers	18 equiv.	
Main supply line length (max)	11 m	
Lateral line length (max)	22.5 m	
Number of lateral lines per zone	1 equiv.	
Operating pressure allowance	1 m equiv.	
Indexing Valve	2.5 m equiv.	
Static Head	0 m	

Base Pressure	103	138	172	kPa
Flow per hour	379	443	495	L/h
Flow per minute	6.3	7.4	8.3	L/min
Flow per zone	38	44	50	L/min
Flow per lateral	38	44	50	L/min
Friction loss through supply line	0.22	0.28	0.35	m
	0	0	0	
Friction loss through a lateral	1.73	2.27	2.76	m
Total friction loss	5.45	6.06	6.61	m
Approx. pressure loss	53	59	65	kPa
Approx. head loss	5.4	6.1	6.6	m

Summary	This is within the effective pump operating range
---------	---



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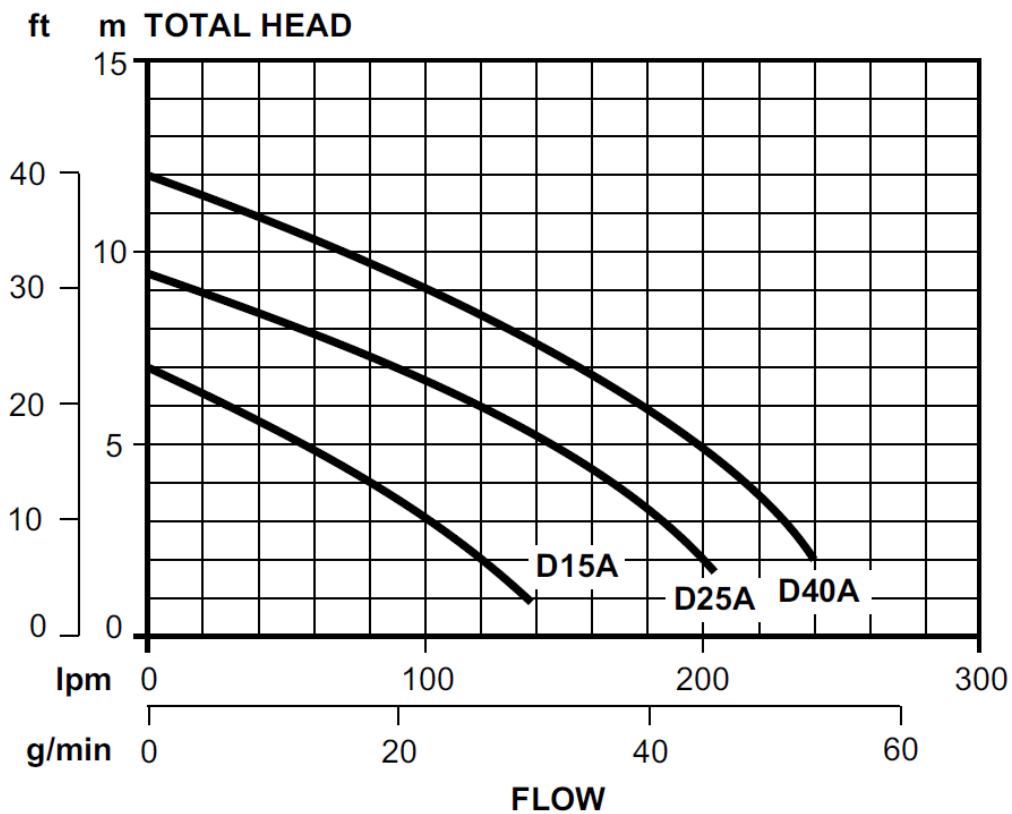
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Job Number: W1272

Date: 18/04/16

WASTEWATER DESIGN WORKSHEET PUMP OPERATING CURVE

Davey D25A Pump Operating Curve



SITE SPECIFIC NOTES

DESIGNED FOR NEW TOURIST ACCOMMODATION, WITH A DIR 4.5mm/day MODIFIED TO 3.6mm/DAY ACCOUNTING FOR SLOPE.

THIS SITE HAS ACCESS TO RAINWATER.

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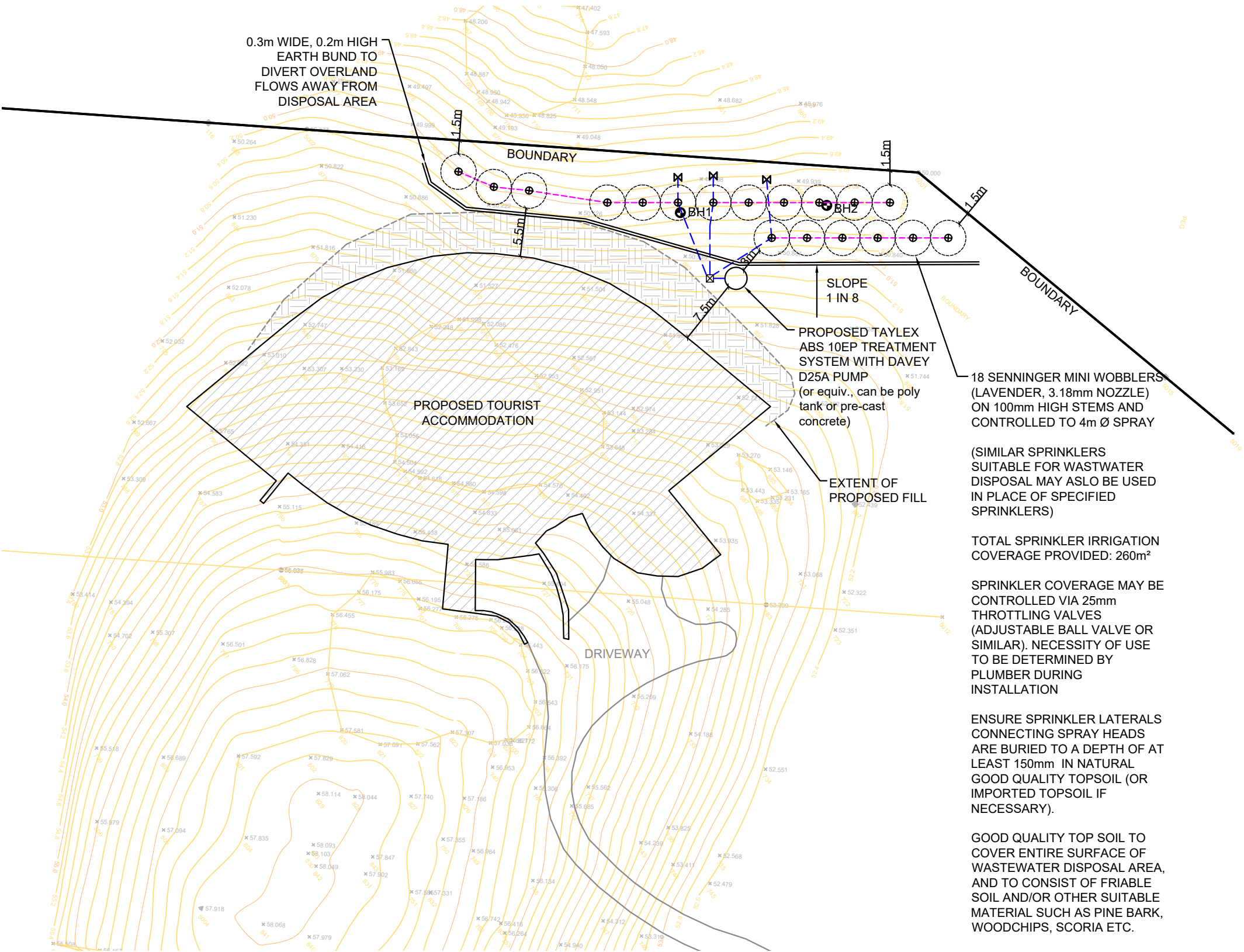
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LEGEND

- 25mm FLUSH VALVE (BALL VALVE)
- BOREHOLE LOCATION
- 40mm OD LILAC HIGH DENSITY POLYTHYLENE SUPPLY LINE
- 25mm POLY/PVC DISTRIBUTION LINE
- SPRINKLER HEAD
- K-RAIN 3 ZONE INDEXING VALVE (OR EQUIV.)



18 SENNINGER MINI WOBLERS (LAVENDER, 3.18mm NOZZLE) ON 100mm HIGH STEMS AND CONTROLLED TO 4m Ø SPRAY

(SIMILAR SPRINKLERS SUITABLE FOR WASTEWATER DISPOSAL MAY ASLO BE USED IN PLACE OF SPECIFIED SPRINKLERS)

TOTAL SPRINKLER IRRIGATION COVERAGE PROVIDED: 260m²

SPRINKLER COVERAGE MAY BE CONTROLLED VIA 25mm THROTTLING VALVES (ADJUSTABLE BALL VALVE OR SIMILAR). NECESSITY OF USE TO BE DETERMINED BY PLUMBER DURING INSTALLATION

ENSURE SPRINKLER LATERALS CONNECTING SPRAY HEADS ARE BURIED TO A DEPTH OF AT LEAST 150mm IN NATURAL GOOD QUALITY TOPSOIL (OR IMPORTED TOPSOIL IF NECESSARY).

GOOD QUALITY TOP SOIL TO COVER ENTIRE SURFACE OF WASTEWATER DISPOSAL AREA, AND TO CONSIST OF FRIABLE SOIL AND/OR OTHER SUITABLE MATERIAL SUCH AS PINE BARK, WOODCHIPS, SCORIA ETC.

WASTEWATER DISPOSAL PLAN

MANDATORY SIGNAGE REQUIREMENTS

Warning signs must be positioned within the land application area to indicate that recycled water is being used for irrigation. The signs must be on a white background with red lettering of at least 20mm in height. The signs must be clearly visible from all sides and must contain a warning such as:

RECYCLED WATER - AVOID CONTACT

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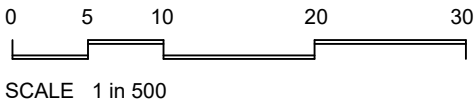
Mob: 0418 818 303

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• Wastewater Assessments



DESIGNED BY: SY DATE: 18/04/16
APPROVED BY: RS

JOB NUMBER: W1272
CLIENT: GOELIA LTD
SITE ADDRESS: LOT 848 NORTH GRANT ROAD
MIDDLE RIVER
KANGAROO ISLAND
COUNCIL: 1 IN 500(at A3)
SCALE:



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Job Number: W1272

Logged & Drilled: RS/JR

Client: Goelia Ltd

Date Drilled: 11/04/16

Logged: 13/04/16

Location: Lot 848 North Grant Road, Middle River, KI

Drilled by dynamic push tube

Horizon Depth (mm)				Soil Cat	Soil Colour	Description	U.S.C.	Reactivity	Br. Cap.
Hole 1	Hole 2	Hole 3	Hole 4						
0 – 300	0 – 250				Brown/grey	Silty Clayey SAND	SC/SM	L	Soft
300 – 1220	250 – 1300				Red-brown/yellow/white	Silty Sandy CLAY with some lime	CL	M	Firm – Stiff
1220 – 1500	1300 – 1500				Brown/yellow/grey	Silty Sandy CLAY with Sandstone fragments	CL/GP	L – M	Stiff – Hard

Reactivity:

Low <0.01

Medium 0.01 - 0.025

High > 0.025

Brg. Capacity (kPa)

Soft 0 - 50

Firm 50 - 100

Stiff 100 - 400

Hard > 400

This borelog may not be used without written permission from Ron Selth & Associates Pty Ltd

Note that it is not economically possible or practical to determine every sub surface feature on a site

Because of this, any variations or discrepancies in soil type, colour or horizon depth, as compared to the test bores shall be referred to the Engineer immediately



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SUITABLE PLANTS FOR RECYCLED WATER IRRIGATION

This list is only intended to provide a selection of trees, shrubs and other plants which may be considered suitable for the land application area. Due to climatic and soil variations, it is essential that further investigations be made before finalising your plant choice to suit your particular locality and site conditions.

Trees

Botanical Name	Common Name	Approximate height in metres
Agonis Flexuosa	Willow Myrtle	5-6
Allocasuarina verticillata	Drooping She Oak	3-5
Banksia spp.		3-10
Callistemon salignus	White Bottlebrush	3-6
Callistemon viminalis	Red Bottlebrush	3-6
Casuarina cunninghamiana	River She Oak	6-10
Eucalyptus camaldulensis	River Red Gum	15-20
Eucalyptus cosmophylla	Cup Gum	5-6
Eucalyptus grandis	Flooded Gum	10-20
Eucalyptus robusta	Swamp Mahogany	6-9
Eucalyptus saligna	Sydney Blue Gum	15-20
Hymenosporum flavum	Native Frangipani	3-6
Malaleuca nesophila	Western Tea Myrtle	2-4
Melaleuca quinquenervia	Broad Paperbark	5-7
Syzygium paniculatum	Bush Cherry	8-10
Tristaniopsis laurina	Kanuka	3-5



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SUITABLE PLANTS FOR RECYCLED WATER IRRIGATION

Shrubs

Botanical Name	Common Name	Approximate height in metres
Abelia grandiflora	Abelia	2-3
Acacia floribunda	Gossamer Wattle	2-4
Argyranthemum frutescens	Marguerite Daisy	1
Chamaecrista nictitans	Geraldton Was	2-4
Cyperus alternifolius	Umbrella Grass	0.5-1
Cyperus papyrus	Papyrus	1-2
Dryandra Formosa		1-3
Eremophila spp.		1-2
Grevillea spp. (apart from G. rosmarinifolia)		1-3
Hebe spp.	Veronica	0.5-1
Iris pseudacorus	Yellow Flag Iris	0.5-1
Melaleuca decussata	Cross Leaved Honey Myrtle	1-2
Phormium tenax	New Zealand Flax	2-2.5
Senna spp. (S. artemisioides)		1-3



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SUITABLE PLANTS FOR RECYCLED WATER IRRIGATION

Perennials / Ground Cover

Botanical Name	Common Name	Approximate height in metres
Aster novi-belgii	Perennial Aster	0.5-1
Canna		1-2
Chrysanthemum maximum	Shasta Daisy	1
Impatiens spp		0.4
Salvia uliginosa	Bog Salvia	0.4
Viola hederacea, eminens or sieberana		0.4

Climbers

Botanical Name	Common Name	Approximate height in metres
Bougainvillea spp.		Variable
Clematis microphylla		Variable
Hardenbergia violacea	Purple Coral Pea	Variable
Hibbertia scandens	Snake Vine	Variable
Jasminum grandiflorum		Variable
Jasminum officinale	Common Jasmine	Variable
Jasminum polyanthum		Variable
Kennedia rubicund	Dusky Coral Pea	Variable
Passiflora spp.	Passion Flower	Variable
Vitis coignetiae	Glory Vine	Variable



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mini-Wobbler Wobbler®

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mini-Wobbler Sprinkler Base Pressure-US

	psi			Sprinkler Base Pressure-Metric	bar		
	15	20	25		1.03	1.38	1.72
#4 Nozzle - Light Blue (1/16")				#4 Nozzle - Light Blue (1.59 mm)			
Flow (gpm)	0.42	0.50	0.56	Flow (L/hr)	95	114	127
Diameter at 1.5 ft ht (ft)	26.5	28.0	29.0	Diameter at 0.46 m ht (m)	8.1	8.5	8.8
Diameter at 3.0 ft ht (ft)	31.0	32.0	33.0	Diameter at 0.91 m ht (m)	9.5	9.8	10.1
#5 Nozzle - Beige (5/64")				#5 Nozzle - Beige (1.98 mm)			
Flow (gpm)	0.64	0.75	0.84	Flow (L/hr)	145	170	191
Diameter at 1.5 ft ht (ft)	31.0	33.5	35.0	Diameter at 0.46 m ht (m)	9.5	10.2	10.7
Diameter at 3.0 ft ht (ft)	36.5	39.0	39.5	Diameter at 0.91 m ht (m)	11.1	11.9	12.0
#6 Nozzle - Gold (3/32")				#6 Nozzle - Gold (2.38 mm)			
Flow (gpm)	0.95	1.10	1.25	Flow (L/hr)	216	250	284
Diameter at 1.5 ft ht (ft)	33.0	36.0	37.0	Diameter at 0.46 m ht (m)	10.1	11.0	11.3
Diameter at 3.0 ft ht (ft)	39.5	42.0	42.0	Diameter at 0.91 m ht (m)	12.0	12.8	12.8
#7 Nozzle - Lime (7/64")				#7 Nozzle - Lime (2.78 mm)			
Flow (gpm)	1.30	1.51	1.69	Flow (L/hr)	295	343	384
Diameter at 1.5 ft ht (ft)	35.0	37.5	38.5	Diameter at 0.46 m ht (m)	10.7	11.4	11.7
Diameter at 3.0 ft ht (ft)	41.0	43.0	43.0	Diameter at 0.91 m ht (m)	12.5	13.1	13.1
#8 Nozzle - Lavender (1/8")				#8 Nozzle - Lavender (3.18 mm)			
Flow (gpm)	1.67	1.95	2.18	Flow (L/hr)	379	443	495
Diameter at 1.5 ft ht (ft)	35.5	38.5	39.0	Diameter at 0.46 m ht (m)	10.8	11.7	11.9
Diameter at 3.0 ft ht (ft)	41.5	43.0	43.5	Diameter at 0.91 m ht (m)	12.7	13.1	13.3

Also available with #9 and #10 nozzle. Consult factory for specific performance data.

Sprinkler performance may vary with actual field conditions. Upright model stream heights range from 1.5 to 3.0 ft (0.46 to 0.91 m) above the nozzle based on pressure and nozzle size. Minimum recommended riser height is 1.5 ft (0.46 m).